

**DOCUMENT 00 90 00
ADDENDUM**

ADDENDUM NO. [2] M Date: April 4, 2018

**RE: WITC – SUPERIOR CAMPUS
SUPERIOR INTERIOR AND EXTERIOR MAINTENANCE & REMODEL
600 N 21ST STREET
SUPERIOR, WI 54880
HSR PROJECT NO. 17063-1**

FROM: HSR Associates, Inc
100 Milwaukee Street
La Crosse, WI 54603
(608) 784-1830

To: Prospective Bidders

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated March 2018. Acknowledge receipt of this Addendum in the space provided on the bid form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of [3] pages, Pre-bid Attendance, Revised Bid Form and [18] 30 x 42 drawings.

CHANGES TO PREVIOUS ADDENDUMS: Addendum 1

1. Changes to Bidding Requirements and Conditions of the Contract: Item 2.
 - a. Section 00 41 00 BID FORM
 - i. Revised bid Form attached hereto. (Revision 2)
 - ii. Alternate 8 deleted.
2. General Requirements, Item 1: Delete Alternate 8.

CHANGES TO BIDDING REQUIREMENTS AND CONDITIONS OF THE CONTRACT:

3. Pre-bid attendance attached hereto.

GENERAL REQUIREMENTS:

4. Section 01 21 00 ALLOWANCES
 - a. Delete section. Allowances no longer apply.

CHANGES TO DRAWINGS

5. Sheet A090R FIRST FLOOR DEMO PLAN SEGMENT 'A' 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
6. Sheet A093R SECOND FLOOR DEMO PLAN SEGMENT 'A' 30 x 42 attached hereto
 - a. Revisions clouded on Drawing
7. Sheet A100R FIRST FLOOR PLAN SEGMENT 'A' 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
8. Sheet A101R FIRST FLOOR PLAN SEGMENT 'B' 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.

9. Sheet A103R SECOND FLOOR PLAN SEGMENT 'A' 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
10. Sheet A110R REFLECTED CEILING PLAN 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
11. Sheet A104R1 PHARMACY TECH PLANS AND DETAILS 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
12. Sheet A310R PLAZA SECTION, ELEVATIONS AND DETAILS 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
13. Sheet A500R BUILDING DETAILS 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
14. Sheet S002R TYPICAL DETAILS AND SCHEDULES 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
15. Sheet S100R FOUNDATION PLAN 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
16. Sheet S200R TRUSS ELEVATIONS AND DETAILS 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
17. Sheet S201R SECTIONS AND DETAILS 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
18. Sheet M111R MECHANICAL NEW & DEMOLITION PLANS – 1st FLOOR 30 x 42 attached hereto.
 - a. Revisions clouded on Drawing.
 - b. Thermostat location for AC-1 clarified.
 - c. Pipe route for AC-1 refrigerant piping revised.
 - d. Clarification of cut and patch responsibilities for saw cutting, core drilling and chase removal.
19. Sheet M121R MECHANICAL PLANS – 2nd & 3rd FLOOR 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
 - b. Pipe route for AC-1 refrigerant piping revised.
 - c. Relocated SG-1 into ceiling space.
20. Sheet ED101R ELECTRICAL – DEMOLITION PLAN 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
 - b. Existing light fixtures to remain added to plan.
 - c. Added Key Note 6.
21. E101R ELECTRICAL – LIGHTING PLAN 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
 - b. Added Key Note 6.
 - c. Clarified lighting as an alternate bid item.
 - d. Added one J-j light fixture.
 - e. Existing light fixtures to remain added to plan.
 - f. Added occupancy sensor to Office 100B.

22. Sheet E121R ELECTRICAL – POWER AND SYSTEMS PLAN 30 x 42 attached hereto
- a. Revised Key Note 3. Add Key notes 5, 6 and 7.
 - b. Additional conduit runs added.
 - c. Automatic door operators added.
 - d. Power and data in Office 100B revised.

PRIOR APPROVALS

- 1. Section 07 13 00 SHEET WATERPROOFING
 - a. PW 100/60 Waterproofing System

- 2. Section 26 51 13 INTERIOIR LIGHTING FIXTURES, LAMPS AND BALLASTS
 - a. The following manufacturers are acceptable provided their product(s) conforms to the general design concept expressed in the contract documents. Acceptance of manufacturers shall not relieve the Contractor from compliance with the requirements of the plans and specifications nor shall it imply approval of the product indicated. Products shall be submitted for Engineer review in accordance with the requirements specified within the corresponding specification section(s).

Type A	NorthStar PRO1 35 N U DM V Neptune LED-66-030-UNV-841-B30-GRY
Type B	LSI Industries XWM FT LED 04L 40 UE BRZ
Type H	24-OVHP-LED-4000L-DIM10-MVOLT-40K-85
Type D	MAXILUME HH6-LED-2000L-DIM10-120-MD-40K-90 MAXILUME HH6-6501-CL-WH
Type F	MAXILUME HH6-LED-4000L-DIM10-120-MD-40K-90 MAXILUME HH6-6501-CL-WH
Type M	LSI Industries TMWP 64W 45K BZ PC120
Type N	Luminaire LED CM13
Type P	Healthcare Ltg. HUC535

END OF DOCUMENT 00 90 00

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Topic **Prebid Superior Exterior**

Date **3-29-18**

Project **Attending**

Proj. No.

Go: Trade:

Daniel Blumer	HSR	Arch	608-784-1830
Carl Stron	MEP	ENG	715-832-5680
Garrett Erickson	MGC	C.L.	218-262-6622
Rochy Phloja	Swenson Sunddal	Paint	218-310-9264
Jon Mottonen	Howard Emmel	GC	920-406-0148
Meghan Mahoney	Gardner Builders	GC	218-221-6606
Troy Nelson	Four Star Const.	GC	715-394-9564
Ryan Malich	Turn Ports Testing	Testing	218-393-8528
CHRIS SCHAEFER	Belknap	Paint	218-510-7621
Scott Blakeman	Blakeman	Paint	715-632-6050
MATT SISLO	CHRYSLER SHOOT METAL		715-394-6593
Tim Huber	Johnson Wilson Constructors		218-576-4302

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DOCUMENT 00 41 00

BID FORM – Revision 2

BIDDER: _____

BID FOR SINGLE PRIME CONTRACT

PROJECT: **WITC – SUPERIOR CAMPUS
SUPERIOR INTERIOR AND EXTERIOR MAINTENANCE & REMODEL
600 N 21ST STREET
SUPERIOR, WI 54880
HSR PROJECT NO. 17063-1**

TO: **WISCONSIN INDIANHEAD TECHNICAL COLLEGE
505 PINE RIDGE DR
SHELL LAKE, WI 54871
ATT: KRISTI FOUST**

BASE BID

The undersigned, having examined the site where the Work is to be executed and become familiar with local conditions affecting the cost of the Work and carefully examined the Project Manual, the Project Drawings, all other Bidding Documents and Addenda thereto prepared by the AE, HSR Associates, Inc., hereby agrees to provide all labor, materials, equipment and services necessary for the complete and satisfactory execution of the ENTIRE WORK, in the time frame stipulated in these contract documents, for the Base Bid stipulated sum of:

_____ Dollars (\$_____ .00)

ALTERNATE BIDS

The undersigned further agrees to perform the alternative portions of the Work as described in the Project Manual, Section 01 23 00 Alternates, for the following additions to or deductions from the Base Bid sum stipulated above:

Alternate No. 1 Pharmacy Tech and Office Remodels

Add _____ Dollars (\$_____ .00)

Alternate No. 2 West and North Storefront Replacement

Add _____ Dollars (\$_____ .00)

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Alternate No. 3 Gabion Benches

Add _____ Dollars (\$_____.00)

Alternate No. 4 Lighting Replacement at Exterior Soffits

Add _____ Dollars (\$_____.00)

Alternate No. 5 Rain Gardens

Add _____ Dollars (\$_____.00)

Alternate No. 6 Wave Graphics at New Storefront Glass

Add _____ Dollars (\$_____.00)

Alternate No. 7 Safety Film at Interior Atrium Glass

Add _____ Dollars (\$_____.00)

UNIT PRICES

The undersigned agrees to add or deduct portions of the Work from the Contract as described in the Project Manual, Section 01 22 00 Unit Prices, for the following Unit Price amounts:

A. Unit Price UP-1: (Excess Excavation)

Per cubic yard _____ Dollars (\$_____.00)

B. Unit Price UP-2: (Compacted Fill)

Per cubic yard _____ Dollars (\$_____.00)

C. Unit Price UP-3: (Exterior Cast Concrete Wall Repair)

Per square foot _____ Dollars (\$_____.00)

D. Unit Price UP-4: (Re-seal Vertical Concrete Joints at Precast Panels)

Per linear foot _____ Dollars (\$_____.00)

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E. Unit Price UP-5: (Re-seal Horizontal Cast Concrete Reveals)

Per linear foot _____ Dollars (\$_____.00)

F. Unit Price UP-6: (Removal/Replacement of Damaged EIFS)

Per square foot _____ Dollars (\$_____.00)

G. Unit Price UP-7: (Concrete Crack Epoxy Injection Repair)

Per lineal foot _____ Dollars (\$_____.00)

H. Unit Price UP-8: (Stainless Steel Pin Installation at Concrete Repair)

Per pin _____ Dollars (\$_____.00)

I. Unit Price UP-9: (Cleaning and Painting Concrete Walls)

Per square foot _____ Dollars (\$_____.00)

BIDDER'S CHOICE SUBSTITUTIONS

The following Bidder's Choice Substitution is proposed for your consideration subject to the requirements set forth in Document 00 22 13 Supplementary Instructions to Bidders, Subparagraph 3.3.4:

Substitution No. S1:

For substituting _____

Type, Brand, Catalog No. _____

Manufacturer _____

Deduct from BASE BID _____ Dollars (\$_____.00)

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In submitting this Bid, the undersigned agrees to:

1. Hold this Bid open for **60** days.
2. Accept the provisions of Instructions to Bidders regarding disposition of Bid Security.
3. Enter into and execute an Agreement, if awarded on the basis of this Bid, and to furnish Performance and Labor and Material Payment Bonds according to the Supplementary Conditions.
4. Accomplish work according to the Contract Documents.
5. Complete the work by the time stated in Section 01 10 00 Summary of the Work.

Receipt of the following Addenda and inclusion of their provisions in this Bid is hereby acknowledged:

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

Attached hereto are the required:

- a. () Bid Security

(Affix seal if Corporation)

FIRM NAME: _____

By: _____

Title: _____

By: _____

Title: _____

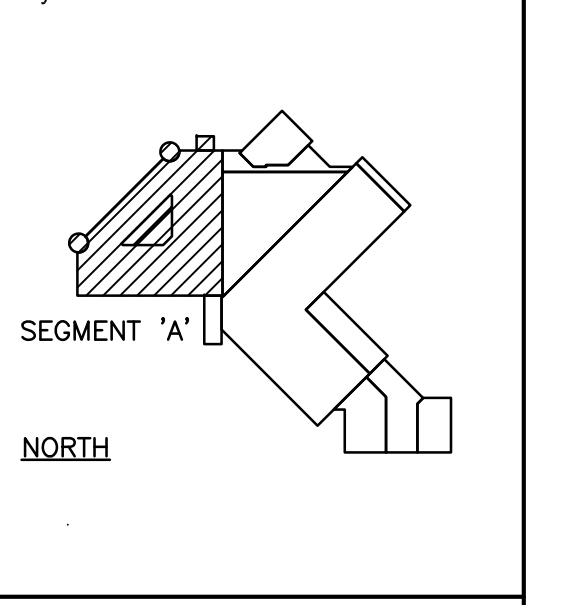
Date: _____

Official Address: _____

Telephone: _____

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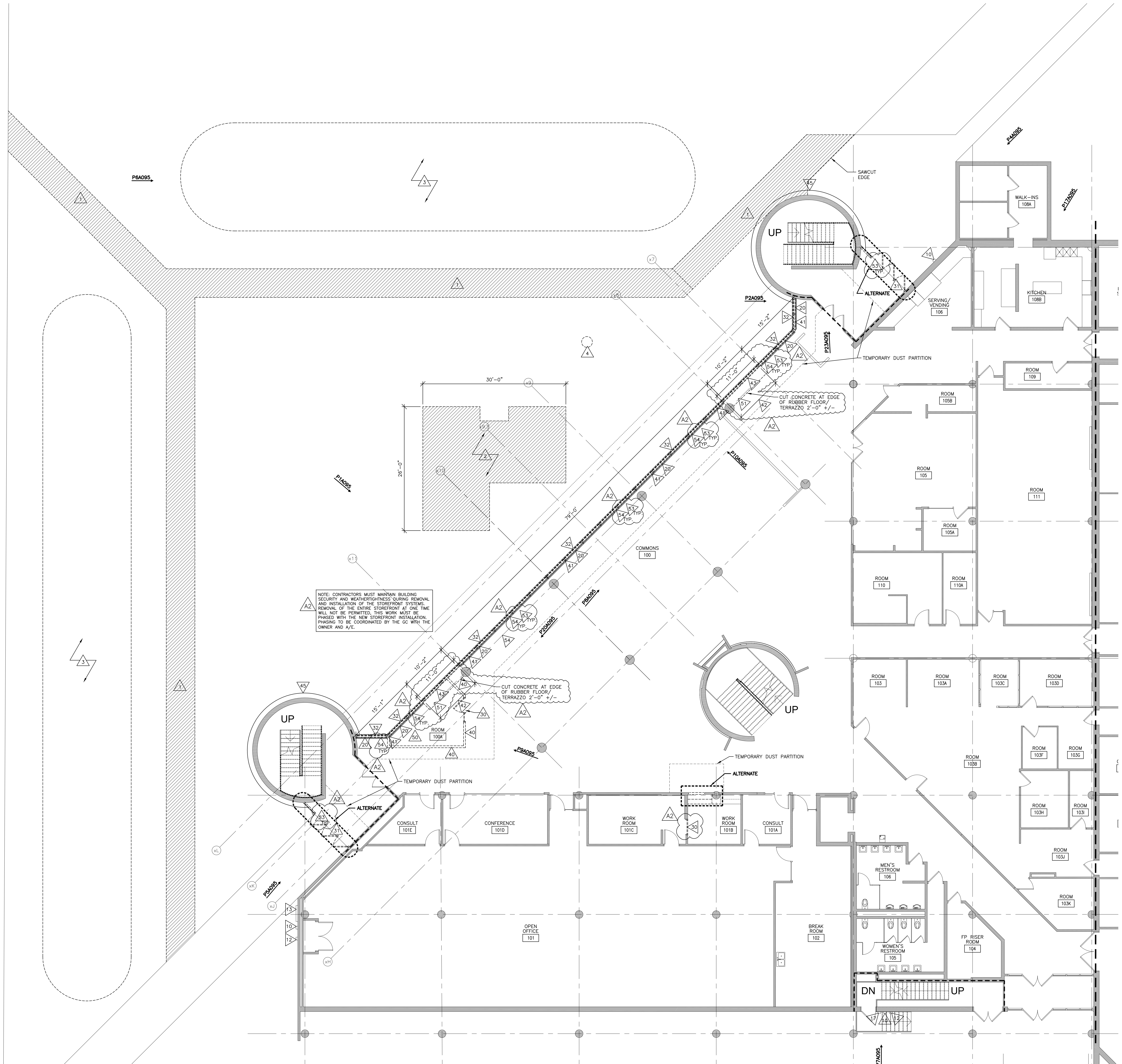
Graphic Scale: VARIES

Last Update: 04/03/2018

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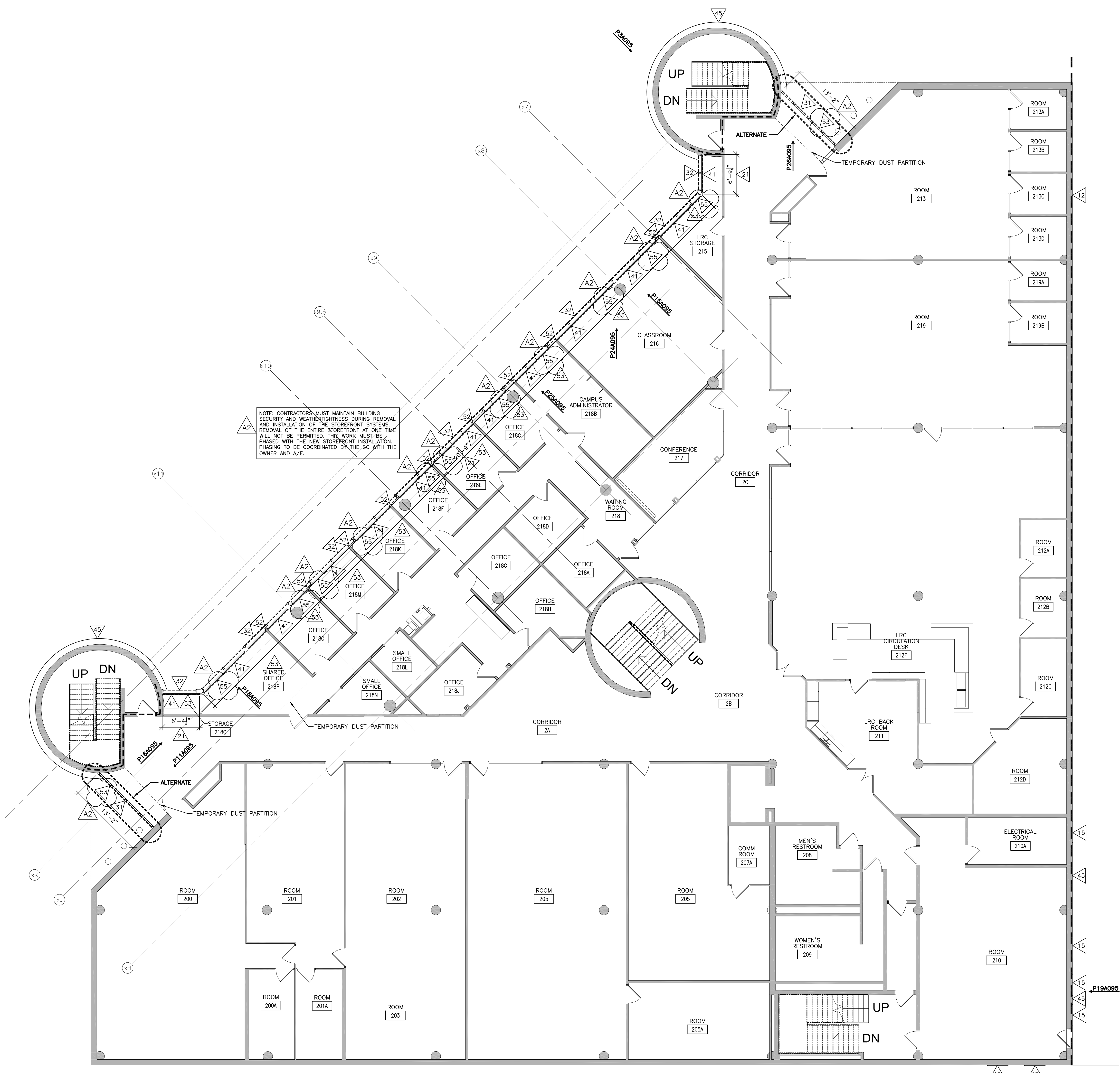
- REMOVAL GENERAL NOTES:**
- DASHED LINES REPRESENT PARTITIONS, DOORS, FLOOR FINISHES, CEILINGS, CASEWORK, AND MISC. TO BE REMOVED, DEMOLISHED OR SALVAGED. ALSO SEE MEP REMOVAL SHEETS.
 - ALL STRUCTURES SHOWN DASHED ON THIS PLAN SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE ALL ELECTRICAL, MECHANICAL, OR PLUMBING WITHIN THE REMOVED STRUCTURE. REMOVE ALL ABANDONED CONDUIT, DUCTS, PIPE, ETC. VERIFY GENERAL CONDITIONS IN FIELD PRIOR TO BIDDING.
 - ALL OPENINGS RESULTING FROM REMOVED PIPE, DUCT OR OTHER MECHANICALS, SHALL BE PATCHED AND PREPPED TO RECEIVE NEW FINISHES OR MATCH ADJACENT FINISHES.
 - WHERE ELECTRIC PANELS, CABINET HEATERS, SPEAKERS, AND ETC. ARE REMOVED AND NOT REPLACED, INFILL OPENING WITH MATERIALS TO MATCH THE ADJACENT FINISHES.
 - PREPARATION FOR NEW FINISHES SHALL INCLUDE REMOVAL OF FINISHES, REMOVAL OF TAPES, GLUES (MASTIC), NAILS ETC., PATCHING OF HOLES AND CRACKS, AND UP TO 1" OF FLOOR LEVELER COMPOUND IF REQUIRED TO PROVIDE AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION. PREPARE FOR NEW FINISHES AT WALLS, FLOORS, CEILINGS & AREAS DAMAGED OR EXPOSED BY REMOVAL/DEMOLITION.
 - REMOVE ALL EXISTING ACCESSORIES AND OTHER MISC. EQUIPMENT ON REMOVED WALLS.
 - OWNER RETAINS FIRST RIGHT TO SALVAGE ALL ITEMS TO BE REMOVED.
 - PROVIDE NEW OPENINGS AS REQUIRED FOR NEW DUCTWORK PENETRATIONS THRU EXISTING MASONRY & OR OTHER EXISTING CONSTRUCTION. COORDINATE W/ MECH. AND STRUCTURAL DWGS. SEE SPECIFICATIONS FOR CUTTING & PATCHING.
 - CONTRACTOR TO PROVIDE TEMPORARY PARTITION(S) TO SEPARATE CONSTRUCTION AREAS FROM OCCUPIED AREAS DURING CONSTRUCTION. LOCATION OF TEMPORARY PARTITIONS SHALL BE COORDINATED WITH ARCHITECT & OWNER.
 - OWNER WILL REMOVE LOOSE FURNISHINGS AND EQUIPMENT FROM THE WORK AREAS PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL SALVAGE FIXED EQUIP ITEMS AS INDICATED FOR REINSTALLATION AND SET THEM IN A DESIGNATED LOCATION FOR THE OWNER TO PROVIDE STORAGE. MISCELLANEOUS SERVICE ITEMS, CLOCKS, PAPER TOWEL DISPENSERS, FIRST AID EQUIPMENT, SHALL BE REMOVED BY THE CONTRACTOR AND SALVAGED TO THE OWNER.
 - CONTRACTOR SHALL NOTIFY OWNER OF ANY SUSPECT MATERIAL IMMEDIATELY. THE OWNER WILL TEST AND ADDRESS IN A TIMELY MANNER.
 - SALVAGE CLEAN, UNDAMAGED CEILING TILES FOR REINSTALLATION IN AREAS NOTED.
 - SALVAGE ALL DOOR HARDWARE TO OWNER.
 - SEE BUILDING SECTIONS & ELEVATIONS FOR ADDITIONAL REMOVAL INFO.
 - REMOVE CONCRETE AND MASONRY WALLS TO BELOW FLOOR SYSTEM FOR NEW FLOOR PATCHING.
 - ALL FLOOR FINISHES INCLUDING ADHESIVES SHALL BE REMOVED DOWN TO CONCRETE SLAB TYPICAL.

- REMOVAL KEY NOTES:**
- SITE** (REF. NOTES ONLY - SEE CIVIL DRAWINGS)
- REMOVE CONCRETE WALK
 - REMOVE CONCRETE SLAB
 - REMOVE EARTH BERM
 - REMOVE CATCH BASIN AND ASSOCIATED DRAINAGE PIPE, SEE CIVIL
 - REMOVE PLANTER/LANDSCAPING
 - EXCAVATE AT FOUNDATION WALL FOR FOUNDATION REPAIRS AND NEW DRAIN TILE. EXCAVATION WIDTH/SLOPE SHALL BE DETERMINED SOIL TYPE. FOLLOW INDUSTRY SAFETY STANDARDS.
- ACCESSORIES**
- FIRE ALARM SYSTEM, SEE ELECTRICAL
 - DOOR OPERATOR PUSH PLATE
 - EXPOSED CONDUIT/ELECTRICAL EQUIP. SEE ELEC. FOR REQUIRED WORK.
 - HOSE BIB, SEE PLUMBING.
 - DRAIN DISCHARGE, SEE PLUMBING.
 - MECHANICAL LOUVER/EQUIP. SEE MECH. FOR REQUIRED WORK.
 - LIGHT FIXTURES, SEE ELECTRICAL FOR REQUIRED WORK.
 - FIRE DEPARTMENT CONNECTIONS TO REMAIN IN PLACE.
- CASEWORK & SILLS**
- REMOVE P.LAM. WINDOW SILL
 - P.LAM. OR SOLID SURFACE WINDOW SILL
- DOORS & WINDOWS**
- REMOVE DOOR AND FRAME
 - REMOVE ALUMINUM CURTAIN WALL ENTRANCE SYSTEM
 - REMOVE ALUMINUM CURTAIN WALL, BREAK METAL PANEL AND ASSOCIATED STEEL BRACING, HSS 4X14 HORIZONTAL BRACE TO REMAIN
- WALLS**
- REMOVE WALL - FRAME CONSTRUCTION
 - PROTECT RADIATORS AND ASSOCIATED HALF WALL
 - REMOVE PORTION OF EXISTING RADIATOR, SEE MECHANICAL FOR ADDITIONAL REQ'S
 - REMOVE CONCRETE KNEE WALL
 - REMOVE CONCRETE COLUMNS AND BEAM
 - REMOVE DETERIORATED CONCRETE TO FIRM SUBSTRATE, SEE ELEVATIONS
 - REMOVE EXISTING METAL PANELS AND FURRING FOR NEW METAL PANELS (WALLS AND SOFFIT)
- FINISHES**
- REMOVE CARPET/VCT/TILE, PREP SUBFLOOR FOR NEW FINISHES
 - CUT HOLE IN EXISTING CONCRETE FLOOR STRUCTURE, SEE STRUCTURAL/MECH/ELEC FOR ADDITIONAL REQUIREMENTS
 - END WALL TRANSITIONS AS REQUIRED FOR REMOVAL AND REINSTALLATION OF STOREFRONT. SEE DETAIL.
 - CEILING TILES AND PORTIONS OF GRID TO ALLOW FOR REMOVAL AND REINSTALLATION OF THE STOREFRONT. THE TILES AND GRID SHALL BE SALVAGED FOR REINSTALLATION.
- OTHER**
- POWERED WINDOW BLINDS, LABEL AND SALVAGE / STORE FOR REINSTALLATION/RECONNECTION AFTER NEW STOREFRONT WORK IS DONE.
 - MANUAL WINDOW BLINDS (CHAIN) AND VALANCES, LABEL AND SALVAGE / STORE FOR REINSTALLATION AFTER NEW STOREFRONT WORK IS DONE.



1 FIRST FLOOR REMOVAL PLAN SEGMENT 'A'
1/8" = 1'-0"

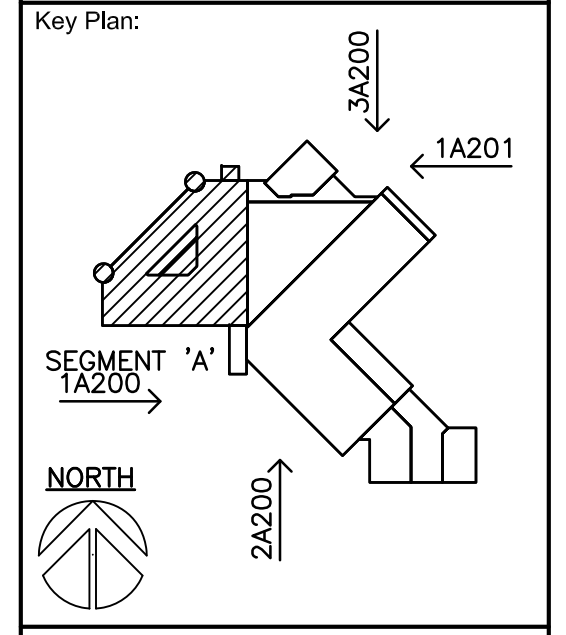




1 SECOND FLOOR REMOVAL PLAN
 1/8" = 1'-0"
 NORTH

- REMOVAL GENERAL NOTES:**
- A DASHED LINES REPRESENT PARTITIONS, DOORS, FLOOR FINISHES, CEILINGS, CASEWORK, AND MISC. TO BE REMOVED, DEMOLISHED OR SALVAGED. ALSO SEE MEP REMOVAL SHEETS.
 - B ALL STRUCTURES SHOWN DASHED ON THIS PLAN SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
 - C ALL OPENINGS RESULTING FROM REMOVED PIPE, DUCT OR OTHER MECHANICALS, SHALL BE PATCHED AND PREPPED TO RECEIVE NEW FINISHES OR MATCH ADJACENT FINISHES.
 - D WHERE ELECTRIC PANELS, CABINET HEATERS, SPEAKERS, AND ETC. ARE REMOVED AND NOT REPLACED, INFILL OPENING WITH MATERIALS TO MATCH THE ADJACENT FINISHES.
 - E PREPARATION FOR NEW FINISHES SHALL INCLUDE REMOVAL OF FINISHES, REMOVAL OF TAPES, GLUES (MASTIC), NAILS ETC., PATCHING OF HOLES AND CRACKS, AND UP TO 1" OF FLOOR LEVELER COMPOUND IF REQUIRED TO PROVIDE AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION. PREPARE FOR NEW FINISHES AT WALLS, FLOORS, CEILINGS & AREAS DAMAGED OR EXPOSED BY REMOVAL/DEMOLITION.
 - F REMOVE ALL EXISTING ACCESSORIES AND OTHER MISC. EQUIPMENT ON REMOVED WALLS.
 - G OWNER RETAINS FIRST RIGHT TO SALVAGE ALL ITEMS TO BE REMOVED.
 - H PROVIDE NEW OPENINGS AS REQUIRED FOR NEW DUCTWORK PENETRATIONS THRU EXISTING MASONRY & OR OTHER EXISTING CONSTRUCTION. COORDINATE W/ MECH. AND STRUCTURAL DWGS. SEE SPECIFICATIONS FOR CUTTING & PATCHING.
 - J CONTRACTOR TO PROVIDE TEMPORARY PARTITION(S) TO SEPARATE CONSTRUCTION AREAS FROM OCCUPIED AREAS DURING CONSTRUCTION. LOCATION OF TEMPORARY PARTITIONS SHALL BE COORDINATED WITH ARCHITECT & OWNER.
 - K OWNER WILL REMOVE LOOSE FURNISHINGS AND EQUIPMENT FROM THE WORK AREAS PRIOR TO START OF CONSTRUCTION.
 - L CONTRACTOR SHALL SALVAGE FIXED EQUIP ITEMS AS INDICATED FOR REINSTALLATION AND SET THEM IN A DESIGNATED LOCATION FOR THE OWNER TO REMOVE TO STORAGE. MISCELLANEOUS SERVICE ITEMS; CLOCKS, PAPER TOWEL DISPENSERS, FIRST AID EQUIPMENT, SHALL BE REMOVED BY THE CONTRACTOR AND SALVAGED TO THE OWNER.
 - M CONTRACTOR SHALL NOTIFY OWNER OF ANY SUSPECT MATERIAL IMMEDIATELY. THE OWNER WILL TEST AND ADDRESS IN A TIMELY MANNER.
 - N SALVAGE CLEAN, UNDAMAGED CEILING TILES FOR REINSTALLATION IN AREAS NOTED.
 - P SALVAGE ALL DOOR HARDWARE TO OWNER.
 - Q SEE BUILDING SECTIONS & ELEVATIONS FOR ADDITIONAL REMOVAL INFO.
 - R REMOVE CONCRETE AND MASONRY WALLS TO BELOW FLOOR SYSTEM FOR NEW FLOOR PATCHING.
 - S ALL FLOOR FINISHES INCLUDING ADHESIVES SHALL BE REMOVED DOWN TO CONCRETE SLAB TYPICAL.

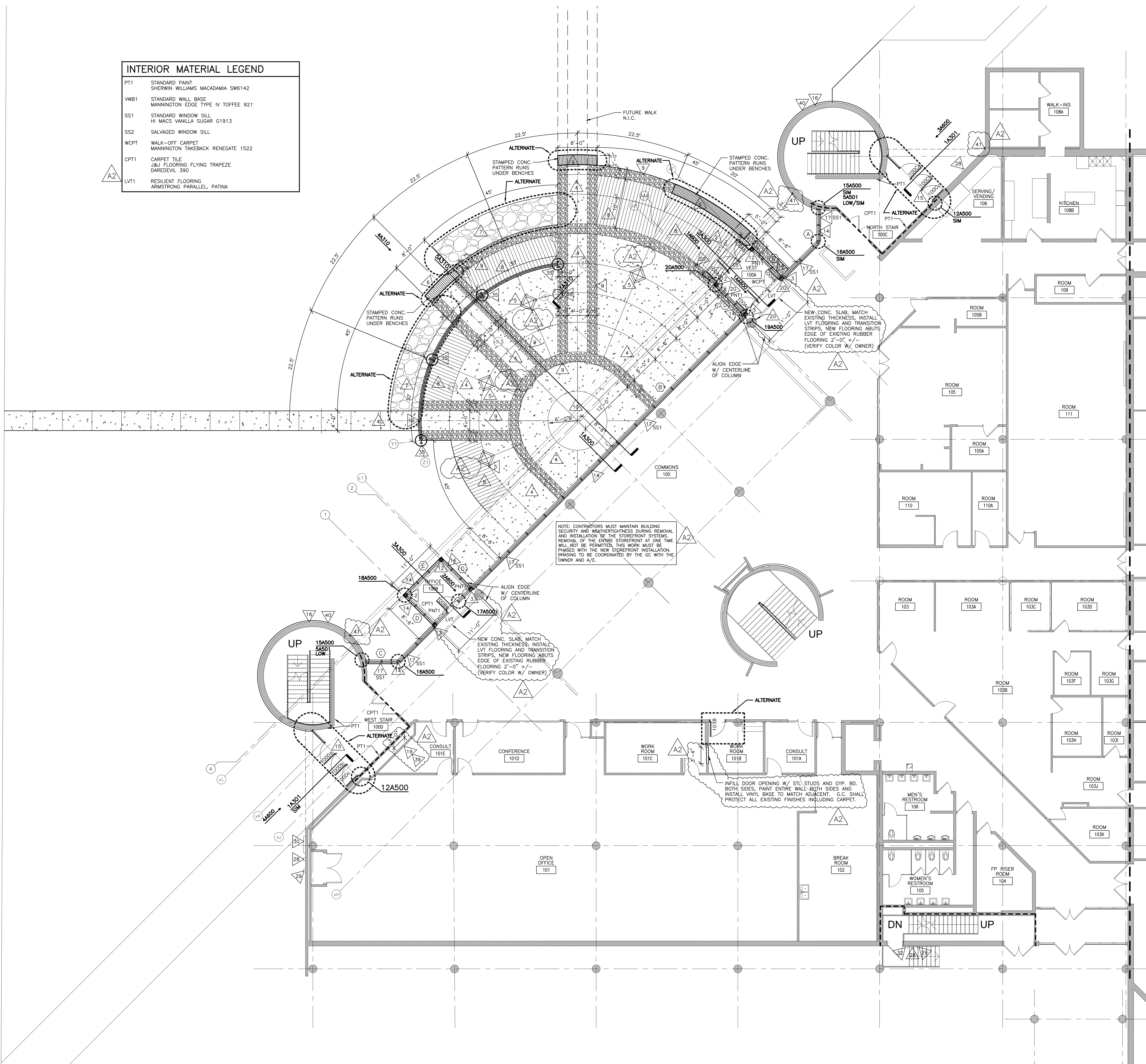
- REMOVAL KEY NOTES:**
- SITE** (REF. NOTES ONLY - SEE CIVIL DRAWINGS)
- A1 REMOVE CONCRETE WALK
 - A2 REMOVE CONCRETE SLAB
 - A3 REMOVE EARTH BERM
 - A4 REMOVE CATCH BASIN AND ASSOCIATED DRAINAGE PIPE, SEE CIVIL
 - A5 REMOVE PLANTER/LANDSCAPING
 - A6 EXCAVATE AT FOUNDATION WALL FOR FOUNDATION REPAIRS AND NEW DRAIN TILE. EXCAVATION WIDTH/SLOPE SHALL BE DETERMINED SOIL TYPE. FOLLOW INDUSTRY SAFETY STANDARDS.
- ACCESSORIES**
- A7 FIRE ALARM SYSTEM, SEE ELECTRICAL
 - A8 DOOR OPERATOR PUSH PLATE
 - A9 EXPOSED CONDUIT/ELECTRICAL EQUIP. SEE ELEC. FOR REQUIRED WORK
 - A10 HOSE BIB, SEE PLUMBING.
 - A11 DRAIN DISCHARGE, SEE PLUMBING.
 - A12 MECHANICAL LOUVER/EQUIP. SEE MECH. FOR REQUIRED WORK.
 - A13 LIGHT FIXTURES, SEE ELECTRICAL FOR REQUIRED WORK.
 - A14 FIRE DEPARTMENT CONNECTIONS TO REMAIN IN PLACE.
- CASEWORK & SILLS**
- A15 REMOVE P.LAM. WINDOW SILL
 - A16 P.LAM. OR SOLID SURFACE WINDOW SILL.
- DOORS & WINDOWS**
- A17 REMOVE DOOR AND FRAME
 - A18 REMOVE ALUMINUM CURTAIN WALL ENTRANCE SYSTEM
 - A19 REMOVE ALUMINUM CURTAIN WALL, BREAK METAL PANEL AND ASSOCIATED STEEL BRACING, HSS 4X14 HORIZONTAL BRACE TO REMAIN
- WALLS**
- A20 REMOVE WALL - FRAME CONSTRUCTION
 - A21 PROTECT RADIATORS AND ASSOCIATED HALF WALL
 - A22 REMOVE PORTION OF EXISTING RADIATOR, SEE MECHANICAL FOR ADDITIONAL REQ'S
 - A23 REMOVE CONCRETE KNEE WALL
 - A24 REMOVE CONCRETE COLUMNS AND BEAM
 - A25 REMOVE DETERIORATED CONCRETE TO FIRM SUBSTRATE, SEE ELEVATIONS
 - A26 REMOVE EXISTING METAL PANELS AND FURRING FOR NEW METAL PANELS (WALLS AND SOFFIT)
- FINISHES**
- A27 REMOVE CARPET/VCT/TILE, PREP SUBFLOOR FOR NEW FINISHES
 - A28 CUT HOLE IN EXISTING CONCRETE FLOOR STRUCTURE, SEE STRUCTURAL/MECH/ELEC FOR ADDITIONAL REQUIREMENTS
 - A29 END WALL TRANSITIONS AS REQUIRED FOR REMOVAL AND REINSTALLATION OF STOREFRONT. SEE DETAIL.
 - A30 CEILING TILES AND PORTIONS OF GRID TO ALLOW FOR REMOVAL AND REINSTALLATION OF THE STOREFRONT. THE TILES AND GRID SHALL BE SALVAGED FOR REINSTALLATION.
- OTHER**
- A31 POWERED WINDOW BLINDS, LABEL AND SALVAGE / STORE FOR REINSTALLATION/RECONNECTION AFTER NEW STOREFRONT WORK IS DONE.
 - A32 MANUAL WINDOW BLINDS (CHAIN) AND VALANCES, LABEL AND SALVAGE / STORE FOR REINSTALLATION AFTER NEW STOREFRONT WORK IS DONE.



No.	Description	Date
A1	ADDENDUM 1	03-27-18
A2	ADDENDUM 2	04-03-18

Graphic Scale: **VARIES**
 Last Update: **04/03/2018**

INTERIOR MATERIAL LEGEND	
PT1	STANDARD PAINT SHERWIN WILLIAMS MACADAMIA SW6142
WMB1	STANDARD WALL BASE MANNINGTON EDGE TYPE IV TOFFEE 921
SS1	STANDARD WINDOW SILL HI MACS VANILLA SUGAR G1913
SS2	SALVAGED WINDOW SILL
WCPT	WALK-OFF CARPET MANNINGTON TAKEBACK RENEGATE 1522
CPT1	CARPET TILE J&J FLOORING FLYING TRAPEZE DAREDEVIL 390
LVT1	RESILIENT FLOORING ARMSTRONG PARALLEL PATINA



REMODEL GENERAL NOTES:

- A VERIFY SIZE AND LOCATIONS OF ALL MECH. OPENINGS. GENERAL CONTRACTOR TO SEAL LOUVER PERIMETER AND PAINT - TYPICAL.
- B NEW EXTERIOR WINDOW TYPES ARE NOTED ON FLOOR PLANS. SEE A600 FOR EXTERIOR WINDOW TYPES.
- C SEE PLANS AND ELEVATIONS FOR CONTROL AND EXPANSION JOINT LOCATIONS (CJ & E.J).
- D LOOSE FURNISHINGS EXCEPT AS NOTED SHALL BE PROVIDED AND INSTALLED BY THE OWNER.
- E EXTEND ALL WALLS TO DECK/STRUCTURE UNLESS NOTED OTHERWISE. AT METAL STUD WALLS W/ SOUND BLANKET EXTEND GYP BOARD BOTH SIDES TO DECK ABOVE.
- F SEE REFLECTED CEILING PLANS FOR SCOPE OF CEILING WORK.
- G WHERE GYP. BOARD PARTITIONS ABUT CMU/BRICK/CONC., PROVIDE METAL J-TIM AND SEALANT BETWEEN TRIM AND MASONRY. PAINT TO MATCH WALL.
- H SEE BUILDING ELEVATIONS SHEETS A200 ETC. FOR ADDITIONAL CONSTRUCTION NOTES.
- J EXISTING WALLS TO REMAIN, TYP. (SHOWN SHADED)
- K PATCH CONCRETE FLOOR SYSTEM AT ALL AREAS WHERE PREVIOUS WALLS HAVE BEEN REMOVED.
- L SEE CODE PLANS FOR FIRE RATED SEPARATIONS.
- M PATCH CONCRETE FLOOR SYSTEM AT ALL LOCATIONS WHERE DUCTWORK/PIPING/CONDUIT HAS BEEN REMOVED. SEE MEP DWGS. FOR LOCATIONS.
- N PATCH WALLS TO MATCH AT ALL LOCATIONS WHERE DUCTWORK/PIPING/CONDUIT HAS BEEN REMOVED AND EXISTING WALL REMAINS. SEE MEP DWGS. FOR LOCATIONS.

SYMBOLS LEGEND:

- EXISTING WALL TO REMAIN
- - - 1 HR FIRE BARRIER WALL W/ TOP OF WALL CLOSURE
- - - 2 HR FIRE BARRIER WALL W/ TOP OF WALL CLOSURE
- FEC: CABINET MOUNTED FIRE EXTINGUISHER
- FE: WALL MOUNTED FIRE EXTINGUISHER

MATERIALS LEGEND:

- CAST IN PLACE CONCRETE (BROOM FINISH)
- ▨ STAMPED CONCRETE (WOOD PLANK PATTERN)
- ▩ STAMPED CONCRETE (STONE PATTERN)
- RAIN GARDEN

REMODEL KEY NOTES:

- ▲ NEW CONC SLAB ON GRADE, SEE STRUCTURAL.
- ▲ NEW FOOTING/FROST STOOP, SEE STRUCTURAL.
- ▲ RECONFIGURE RADIATOR AND ASSOCIATED PIPING, SEE MECHANICAL. RADIATOR COVER AND EXPOSED BACK WALL SHALL BE PREPARED AND PAINTED.
- ▲ 5" CONCRETE SLAB, BROOM FINISHED.
- ▲ EXTERIOR GAS PATIO HEATER, N.I.C. NOT AN ALTERNATE - OWNER EQUIPMENT.
- ▲ GABION STONE BENCH WITH WOOD SLAT TOP. (ALTERNATE)
- ▲ NEW RAIN GARDEN, SEE CIVIL. (ALTERNATE)
- ▲ STAMPED CONCRETE - WOOD PLANK PATTERN.
- ▲ STAMPED CONCRETE - STONE PATTERN.
- ▲ INSTALL SAFETY FILM ON EXISTING GLAZING. SEAL PERIMETER OF GLAZING IN EACH FRAME TO HOLD IN PLACE IN CASE OF BREAKAGE.
- ▲ CONC. PIER BY CONTRACTOR. STRUCTURAL STEEL COLORGRADE FUTURE WORK BY OWNER N.I.C. CONTRACTOR SHALL INSTALL BOLTS AND PLATES PER 6&7A310.
- ▲ STEEL COLUMN, SEE STRUCTURAL.
- ▲ NEW DECORATIVE STEEL TRUSS, SEE STRUCTURAL.
- ▲ THERMALLY BROKEN ALUMINUM STOREFRONT, SEE A600.
- ▲ THERMALLY BROKEN ALUMINUM ENTRY DOOR SYSTEM, SEE A600.
- ▲ SEE A200 FOR ADDITIONAL WORK ON CONCRETE TOWERS.
- ▲ NEW SOLID SURFACE WINDOW SILLS.
- ▲ PATCH & REFINISH EXISTING GYP. BD. PROVIDE NEW EXTENSION TO STOREFRONT AT ENDWALLS PER DETAIL 1A501.
- ▲ CUT AND PATCH GYP. BD. WALLS (BY TRADE) FOR M/E/P WORK, PAINT TO MATCH ADJACENT SURFACES.
- ▲ NEW AUTOMATIC DOOR OPENERS.
- ▲ NEW METAL WALL PANELS.
- ▲ NEW STEEL CORNERGUARD, PAINT.
- ▲ NEW 6" CONCRETE FILLED PIPE BOLLARD.
- ▲ EXCAVATE AT FOUNDATION WALL DOWN TO FOOTING. TUCKPOINT CMU FOUNDATION (100% OF JOINTS). INSTALL SHEET WATERPROOFING & 2" RIGID INSUL.
- ▲ NEW DRAIN TILE WITH FILTER SOCK.
- ▲ CLEAN, PRIME & REPAINT EXISTING STEEL CORNER GUARD.
- ▲ CLEAN, PRIME & REPAINT EXISTING STEEL PIPE BOLLARD.
- ▲ FIRE ALARM SYSTEM - SEE ELECTRICAL.
- ▲ EXPOSED CONDUIT/ELECTRICAL EQUIPMENT.
- ▲ HOSE BIB - RESEAL PERIMETER. SEE PLUMBING.
- ▲ DRAIN DISCHARGE - RESEAL PERIMETER.
- ▲ FIRE DEPARTMENT CONNECTION - RESEAL PERIMETER.
- ▲ EXISTING LIGHT FIXTURE LOCATION, SEE ELECTRICAL FOR WORK TO BE DONE.
- ▲ EXISTING MECHANICAL EQUIPMENT TO REMAIN - RESEAL ALL PENETRATIONS.
- ▲ CONC. PIER BY CONTRACTOR. STRUCTURAL STEEL COLORGRADE FUTURE WORK BY OWNER N.I.C. CONTRACTOR SHALL INSTALL BOLTS AND PLATES PER 6&7A310.
- ▲ PATCH AND REPAIR DAMAGED CONCRETE.
- ▲ REPLACE PREFINISHED ALUM. INSULATION COVER AT FOUNDATION.
- ▲ NEW FLAGPOLE AND BASE.
- ▲ SEE PLUMBING FOR WORK IN THIS AREA.
- ▲ NEW CULTURED STONE VENEER OVER EXIST. CONC. - SEE ELEVATIONS FOR EXTENTS OF CULTURED STONE.
- ▲ NEW EXTERIOR ELECTRICAL CONDUITS, SEE ELECTRICAL. PAINT EXPOSED PORTIONS TO MATCH ADJACENT SURFACE. CONCEAL CONDUIT AT ALL AREAS WITH CULTURED STONE.

1 FIRST FLOOR PLAN SEGMENT 'A'
1/8" = 1'-0"



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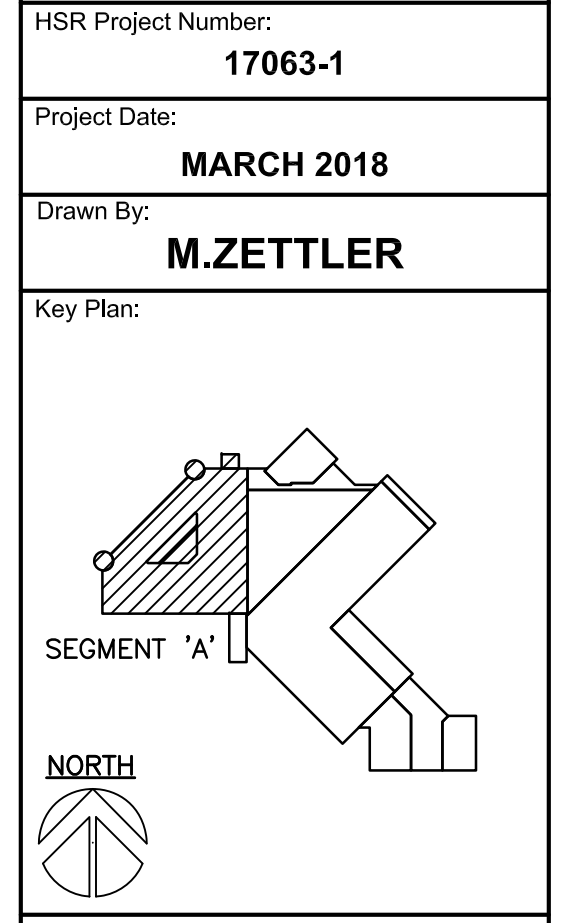
Consultant:

**WTC - SUPERIOR CAMPUS
SUPERIOR INTERIOR AND EXTERIOR
MAINTENANCE & REMODEL**

Project Location: 600 N. 21st Street
Superior, Wisconsin 54880

Project Title: FIRST FLOOR PLAN SEGMENT 'A'

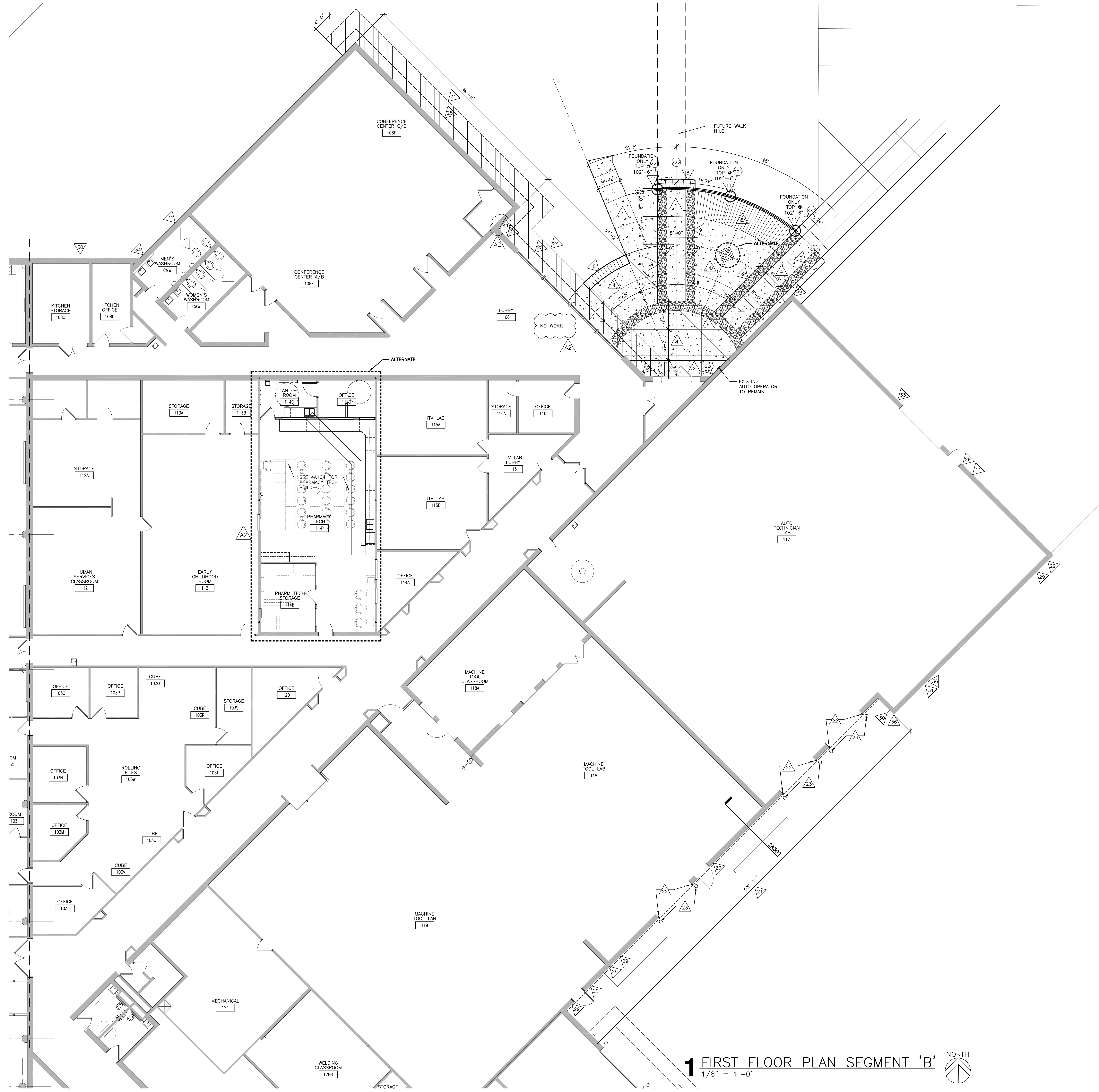
HSR Project Number: 17063-1
Project Date: MARCH 2018
Drawn By: M.ZETTLER
Key Plan:



No.	Description	Date
A1	ADDENDUM 1	03-27-18
A2	ADDENDUM 2	04-03-18

Graphic Scale: VARIES
Last Update: 04/03/2018

A100R



1 FIRST FLOOR PLAN SEGMENT 'B'
 1/8" = 1'-0"

REMODEL GENERAL NOTES:

- A VERIFY SIZE AND LOCATIONS OF ALL MECH. OPENINGS. GENERAL CONTRACTOR TO SEAL LOUVER PERIMETER AND PAINT - TYPICAL.
- B NEW EXTERIOR WINDOW TYPES ARE NOTED ON FLOOR PLANS. SEE A600 FOR EXTERIOR WINDOW TYPES.
- C SEE PLANS AND ELEVATIONS FOR CONTROL AND EXPANSION JOINT LOCATIONS (EJ & EJ).
- D LOOSE FURNISHINGS EXCEPT AS NOTED SHALL BE PROVIDED AND INSTALLED BY THE OWNER.
- E EXTEND ALL WALLS TO DECK/STRUCTURE UNLESS NOTED OTHERWISE. AT METAL STUD WALLS W/ SOUND BLANKET EXTEND GYP BOARD BOTH SIDES TO DECK ABOVE.
- F SEE REFLECTED CEILING PLANS FOR SCOPE OF CEILING WORK.
- G WHERE GYP. BOARD PARTITIONS ABUT CMU/BRICK/CONC., PROVIDE METAL L-J-TRIM AND SEALANT BETWEEN TRIM AND MASONRY. PAINT TO MATCH WALL.
- H SEE BUILDING ELEVATIONS SHEETS A200 ETC. FOR ADDITIONAL CONSTRUCTION NOTES.
- J EXISTING WALLS TO REMAIN, TYP. (SHOWN SHADED)
- K PATCH CONCRETE FLOOR SYSTEM AT ALL AREAS WHERE PREVIOUS WALLS HAVE BEEN REMOVED.
- L SEE CODE PLANS FOR FIRE RATED SEPARATIONS.
- M PATCH CONCRETE FLOOR SYSTEM AT ALL LOCATIONS WHERE DUCTWORK/PIPING/CONDUIT HAS BEEN REMOVED. SEE MEP DWGS. FOR LOCATIONS.
- N PATCH WALLS TO MATCH AT ALL LOCATIONS WHERE DUCTWORK/PIPING/CONDUIT HAS BEEN REMOVED AND EXISTING WALL REMAINS. SEE MEP DWGS. FOR LOCATIONS.

SYMBOLS LEGEND:

- EXISTING WALL TO REMAIN
- 1 HR FIRE BARRIER WALL W/ TOP OF WALL CLOSURE
- 2 HR FIRE BARRIER WALL W/ TOP OF WALL CLOSURE
- FEC: CABINET MOUNTED FIRE EXTINGUISHER
- FE: WALL MOUNTED FIRE EXTINGUISHER

MATERIALS LEGEND:

- CAST IN PLACE CONCRETE (BROOM FINISH)
- STAMPED CONCRETE (WOOD PLANK PATTERN)
- STAMPED CONCRETE (STONE PATTERN)
- RAIN GARDEN

REMODEL KEY NOTES:

- NEW CONC SLAB ON GRADE, SEE STRUCTURAL.
- NEW FOOTING/FROST STOOP, SEE STRUCTURAL.
- RECONFIGURE RADIATOR AND ASSOCIATED PIPING. SEE MECHANICAL. RADIATOR COVER AND EXPOSED BACK WALL SHALL BE PREPARED AND PAINTED.
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- THERMALLY BROKEN ALUMINUM STOREFRONT, SEE A600.
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- NEW CULTURED STONE VENEER OVER EXIST. CONC. - SEE ELEVATIONS FOR EXTENTS OF CULTURED STONE.
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Consultant:

**WTC - SUPERIOR CAMPUS
 SUPERIOR INTERIOR AND EXTERIOR
 MAINTENANCE & REMODEL**

Project Location: 600 N. 21st Street
 Superior, Wisconsin 54880

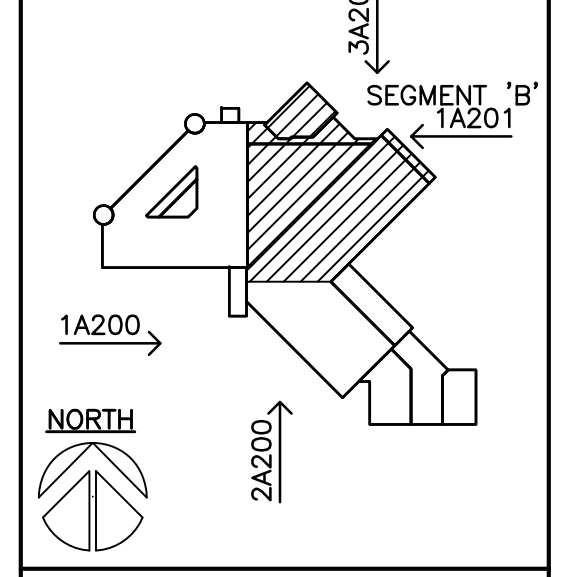
Sheet Title: **FIRST FLOOR PLAN SEGMENT 'B'**

Project Number: **17063-1**

Project Date: **MARCH 2018**

Drawn By: **M.ZETTLER**

Key Plan:

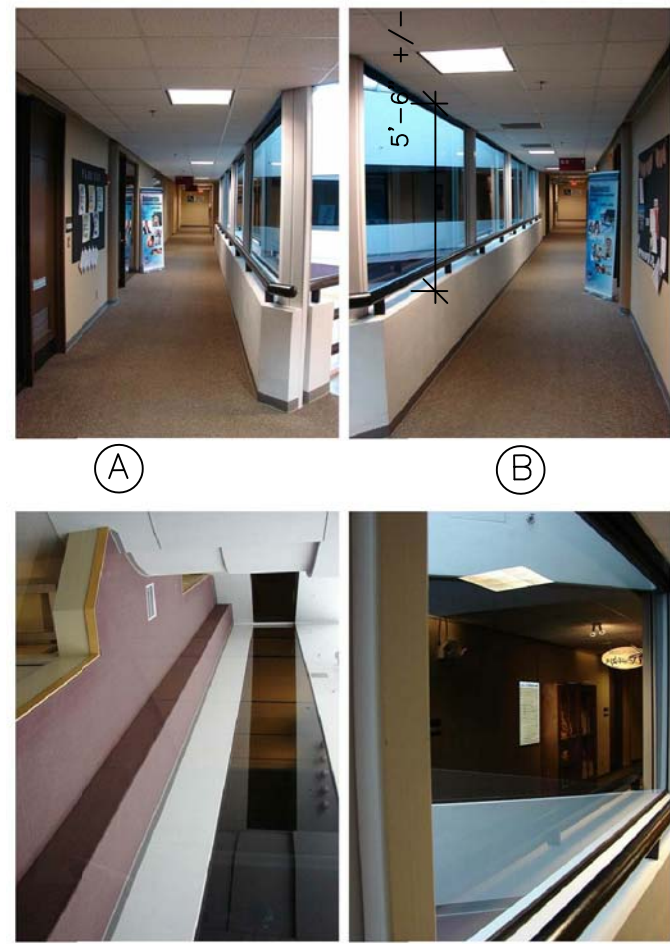


No.	Description	Date
A1	ADDENDUM 1	03-27-18
A2	ADDENDUM 2	04-03-18

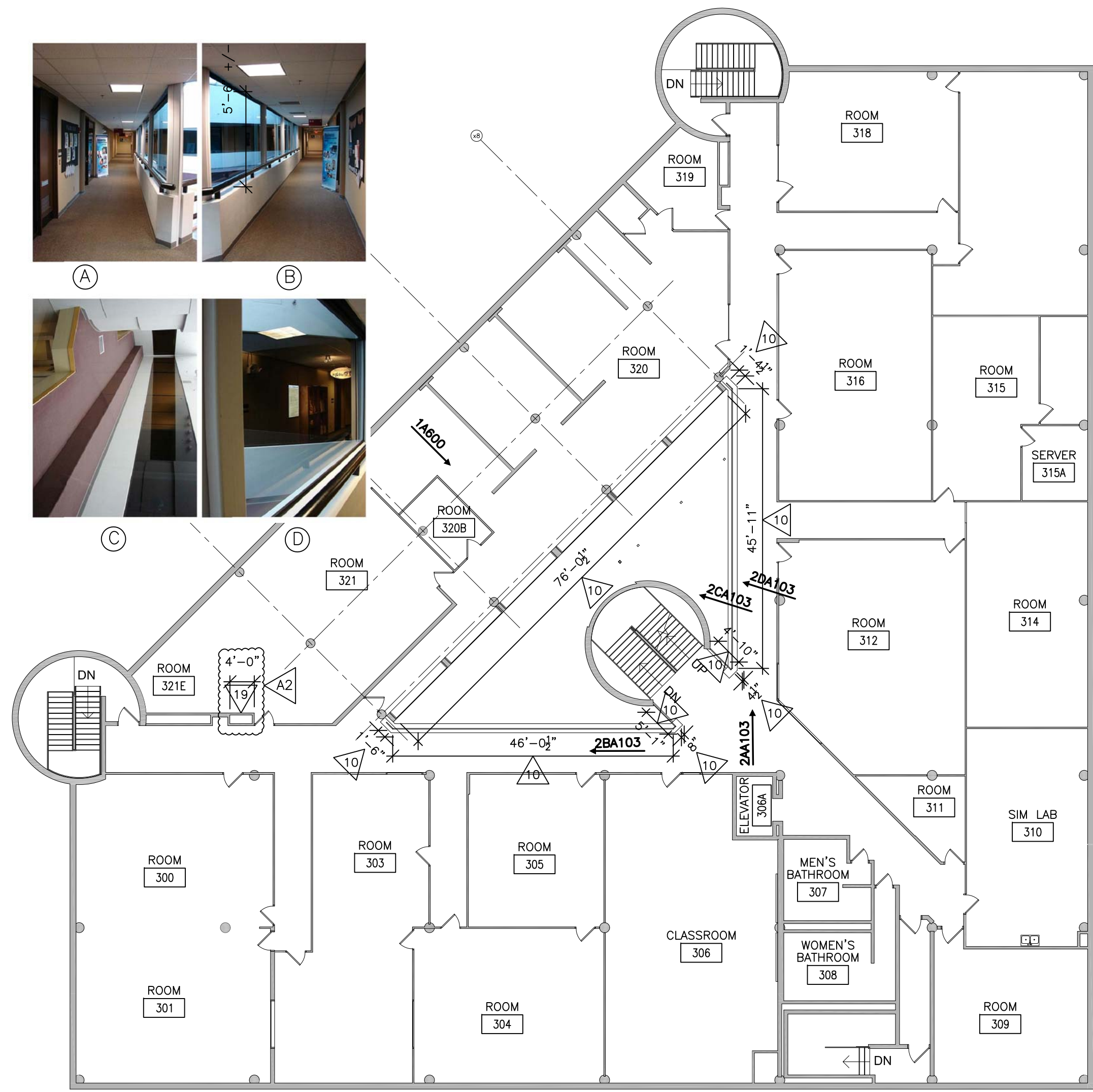
Graphic Scale: **VARIES**

Last Update: **04/03/2018**

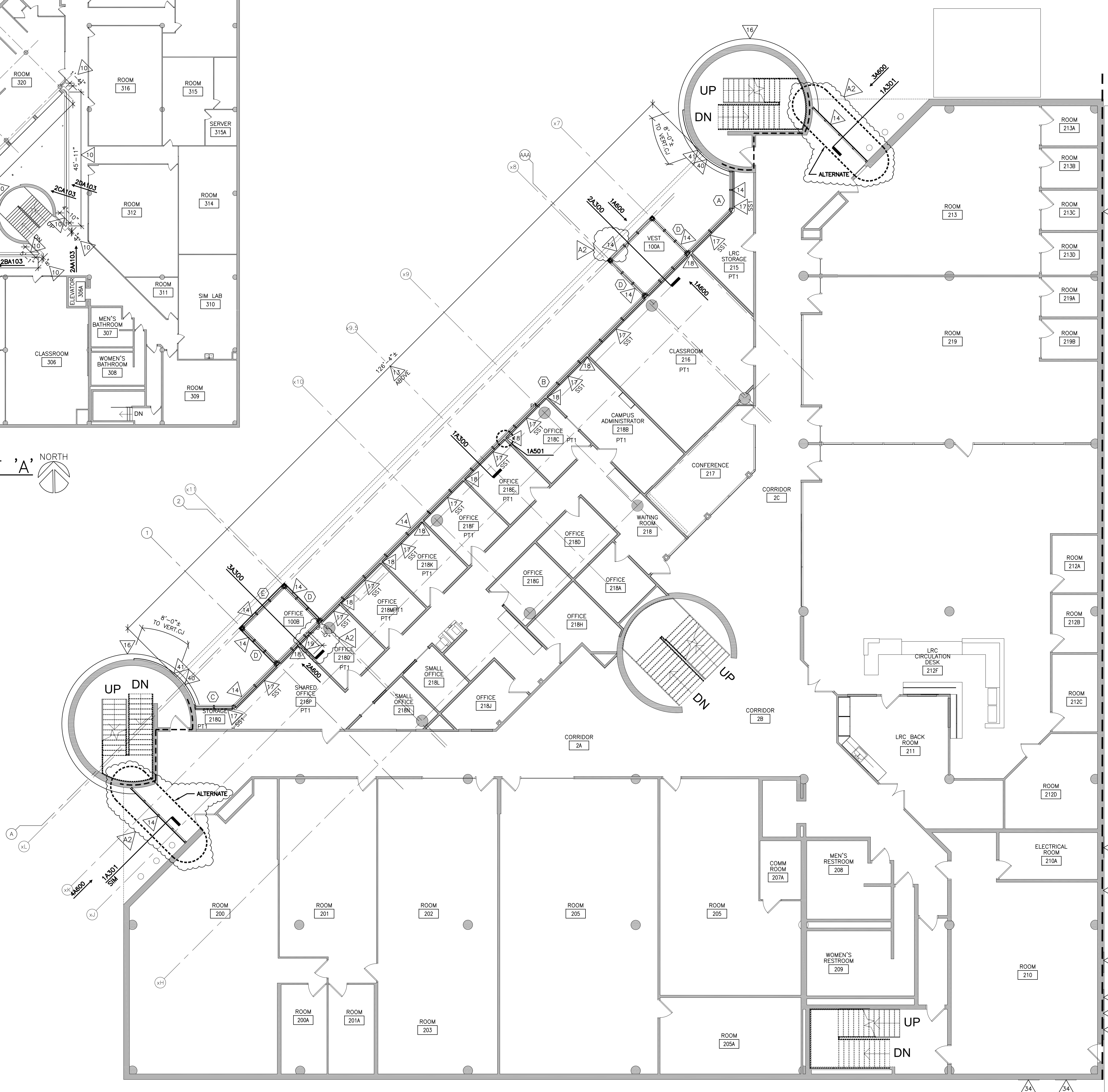
A101R



2 THIRD FLOOR PLAN SEGMENT 'A'
1/16" = 1'-0" NORTH



1 SECOND FLOOR PLAN SEGMENT 'A'
1/8" = 1'-0" NORTH



REMODEL GENERAL NOTES:

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- G WHERE GYP. BOARD PARTITIONS ABUT CMU/BRICK/CONC., PROVIDE METAL J-TIM AND SEALANT BETWEEN TRIM AND MASONRY. PAINT TO MATCH WALL.
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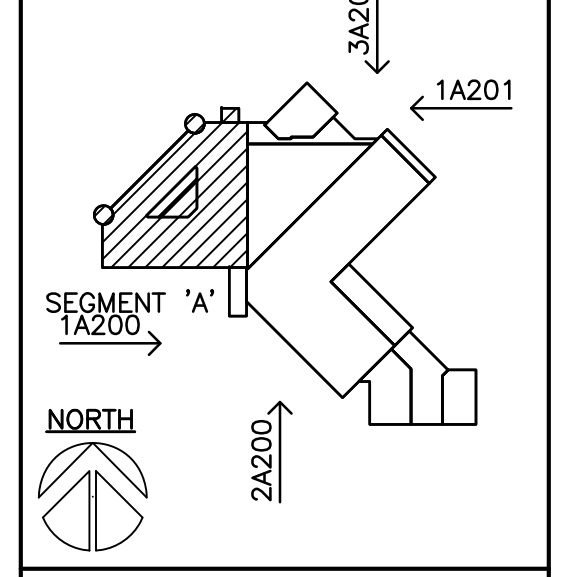
HSR ASSOCIATES INC.
100 MILWAUKEE STREET
LA CROSSE, WISCONSIN
PHONE: 608.784.1830
FAX: 608.782.5844
WEB SITE: www.hsrasociates.com
Consultant:

**WTC - SUPERIOR CAMPUS
SUPERIOR INTERIOR AND EXTERIOR
MAINTENANCE & REMODEL**
Project Location: 600 N. 21st Street
Superior, Wisconsin 54880
SECOND FLOOR PLAN SEGMENT 'A'

Project Title:
HSR Project Number:
17063-1

Project Date:
MARCH 2018

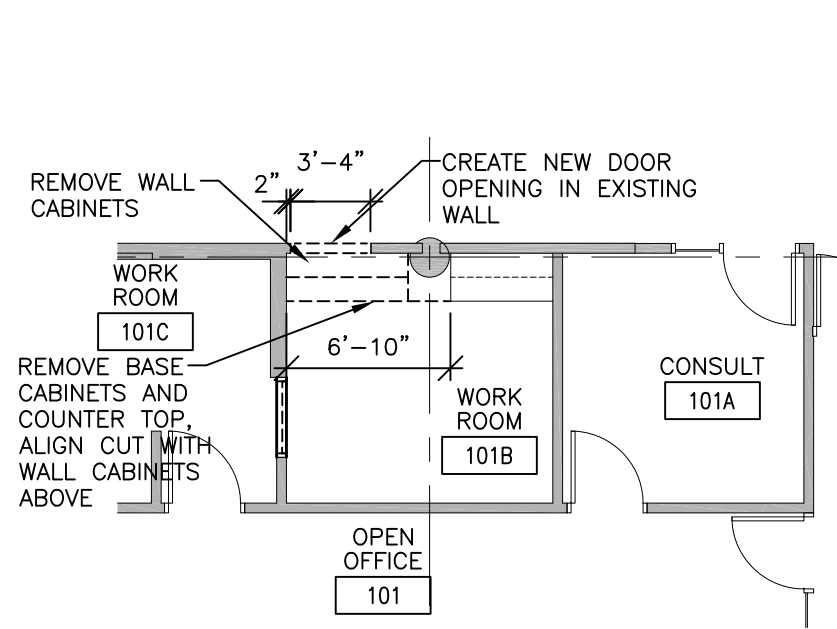
Drawn By:
M.ZETTLER



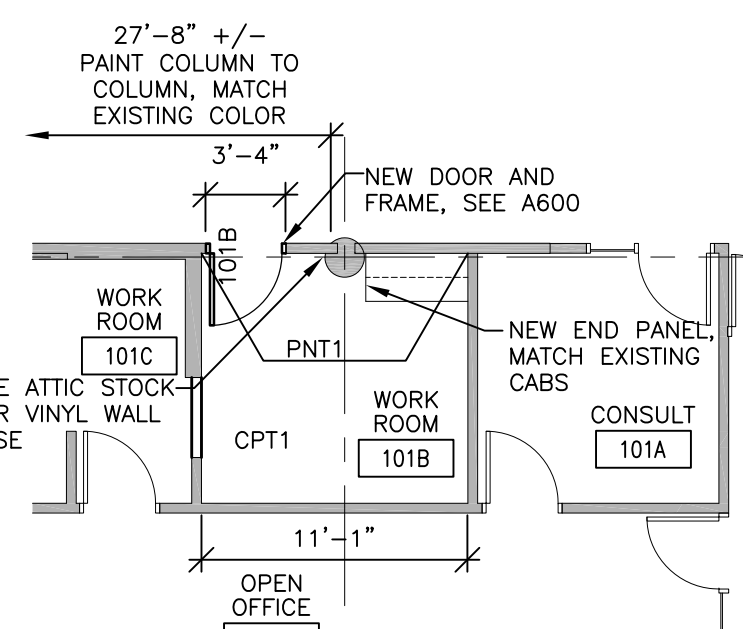
No.	Description	Date
A1	ADDENDUM 1	03-27-18
A2	ADDENDUM 2	04-03-18

Graphic Scale:
VARIES
Last Update:
04/03/2018

A103R



1 WORK ROOM REMOVAL PLAN
1/8" = 1'-0"



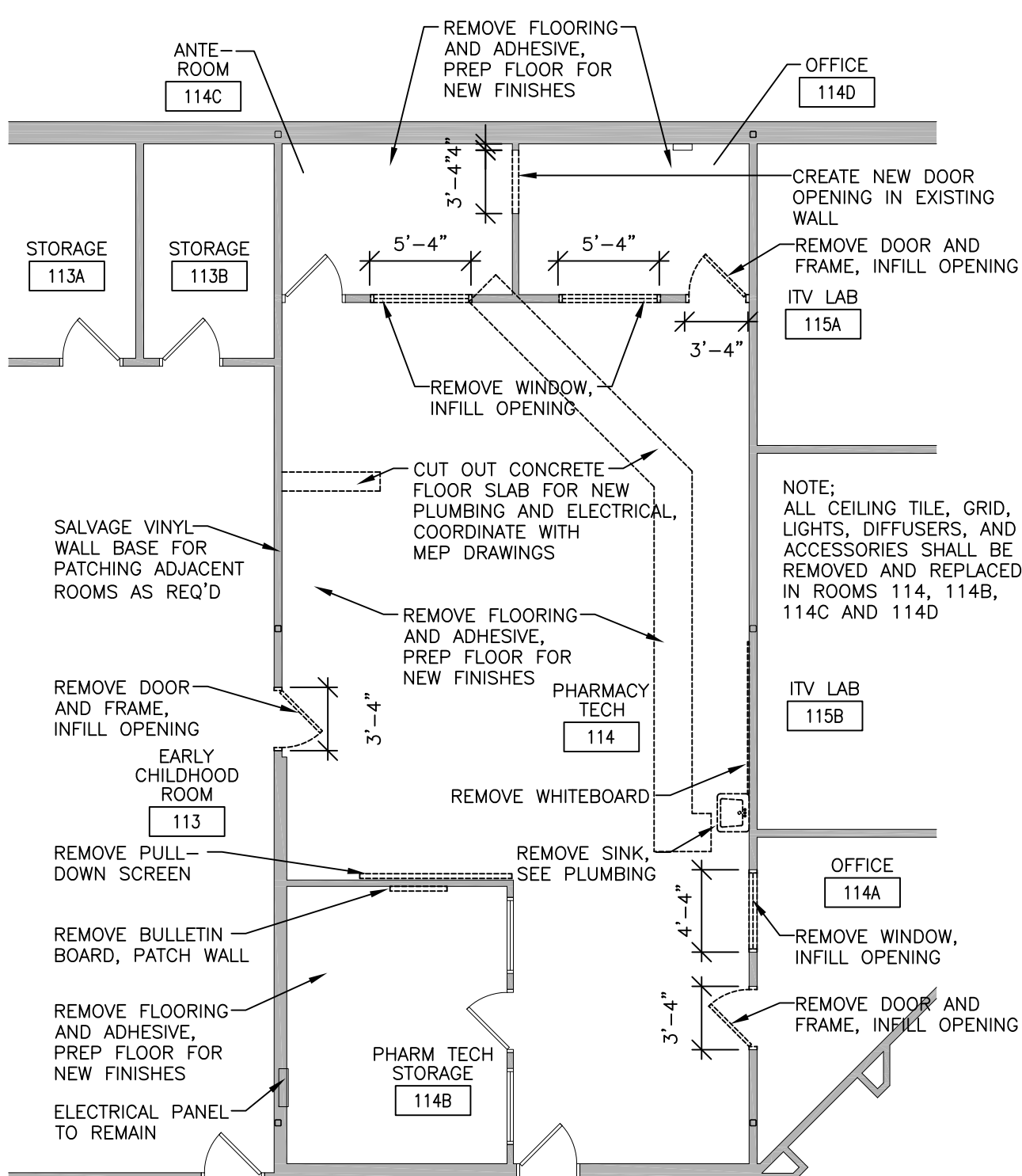
3 WORK ROOM REMODEL PLAN
1/8" = 1'-0"

ALL WORK THIS SHEET IS AN
AN ALTERNATE BID.

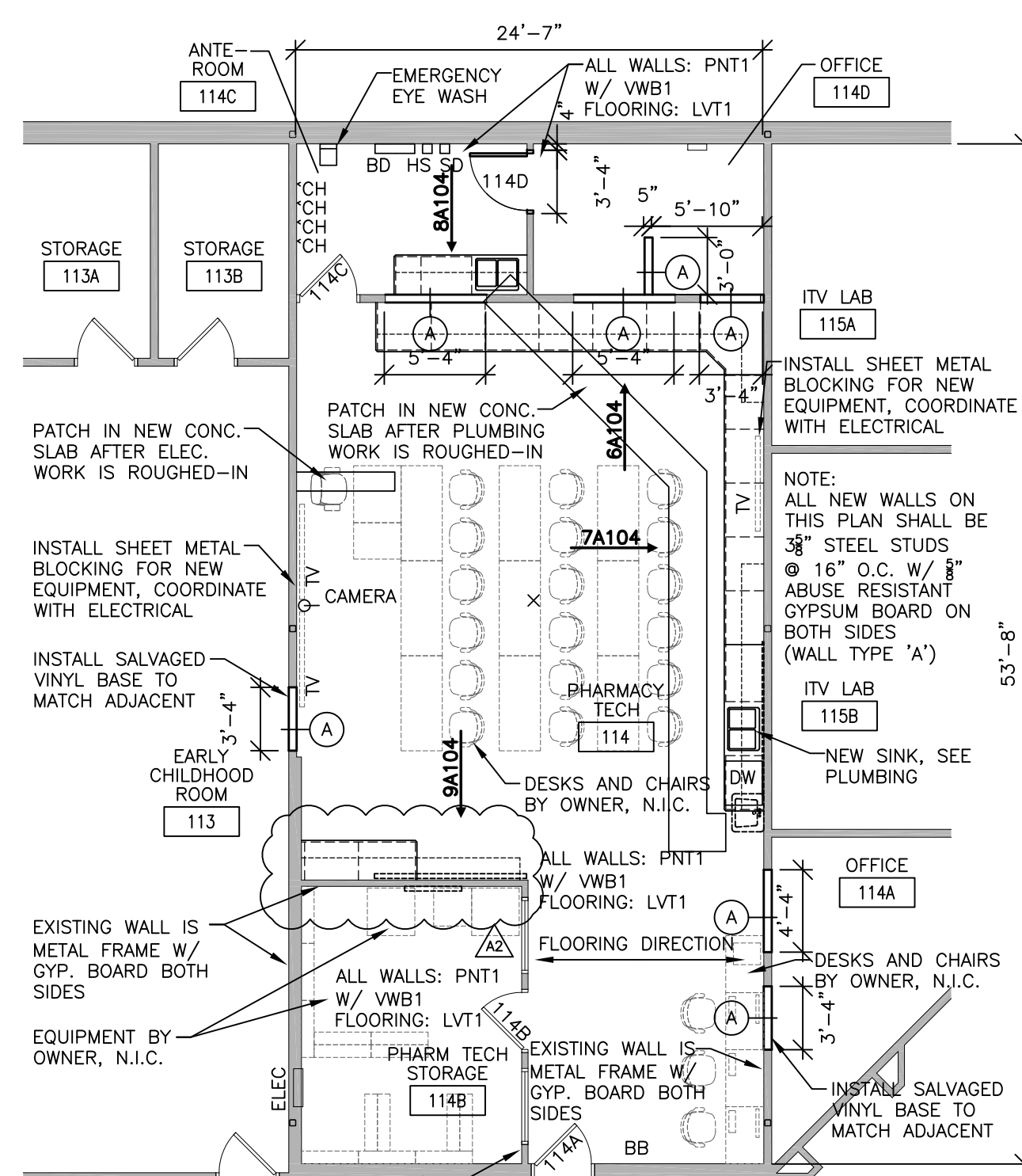
ALL DETAILS HAVE BEEN REVISED.

INTERIOR MATERIAL LEGEND	
PNT1	STANDARD PAINT SHERWIN WILLIAMS MACADAMIA SW6142
VWB1	STANDARD WALL BASE MANNINGTON EDGE TYPE TV TOFFEE 921
CPT1	CARPET TILE J&J FLOORING FLYING TRAPEZE DAREDEVIL 390
LVT1	RESILIENT FLOORING ARMSTRONG PARALLEL PATINA
PLAM1	ALL CABINETRY WILSONART CANYON ZEPHYR 4842-60
PLAM3	ALL COUNTERTOPS WILSONART GRAPHITE NEBULA 4623-60

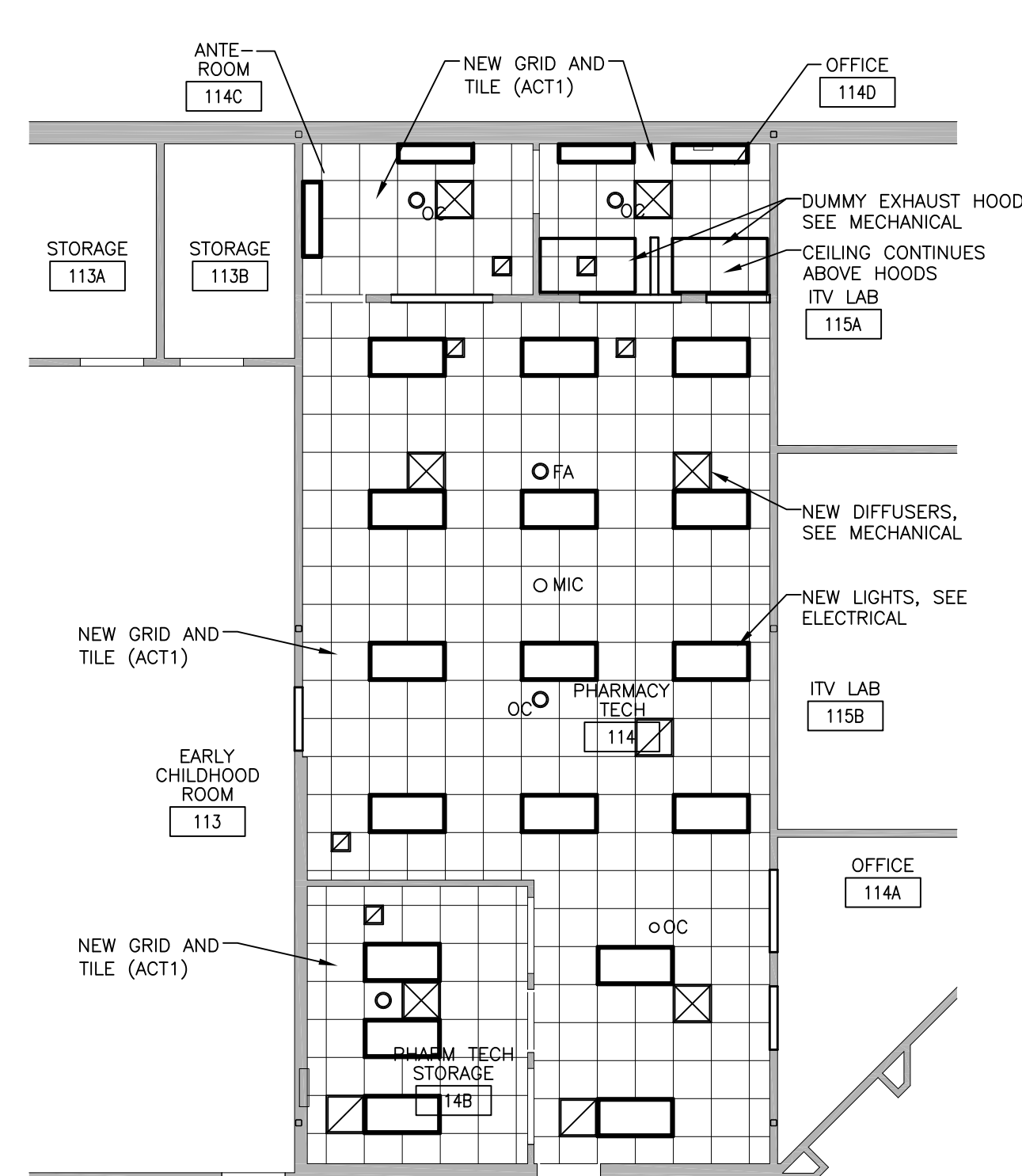
ACCESSORY SCHEDULE		
ABBREVIATION	ITEM	MOUNTING HEIGHT UNO
BB	BULLETIN BOARD	CONFIRM W/ OWNER
BD	BULK DISPENSER	BOT. @ 3'-6" A.F.F.
HS	HAND SANITIZER DISPENSER	BOT. @ 3'-6" A.F.F.
LSD	LIQUID SOAP DISPENSER	BOT. @ 3'-6" A.F.F.
PTD	PAPER TOWEL DISPENSER	BOT. @ 3'-6" A.F.F.
SD	SHARPS DISPOSAL	TOP @ 4'-6" A.F.F.
TV	TELEVISION/MONITOR	CONFIRM W/ OWNER



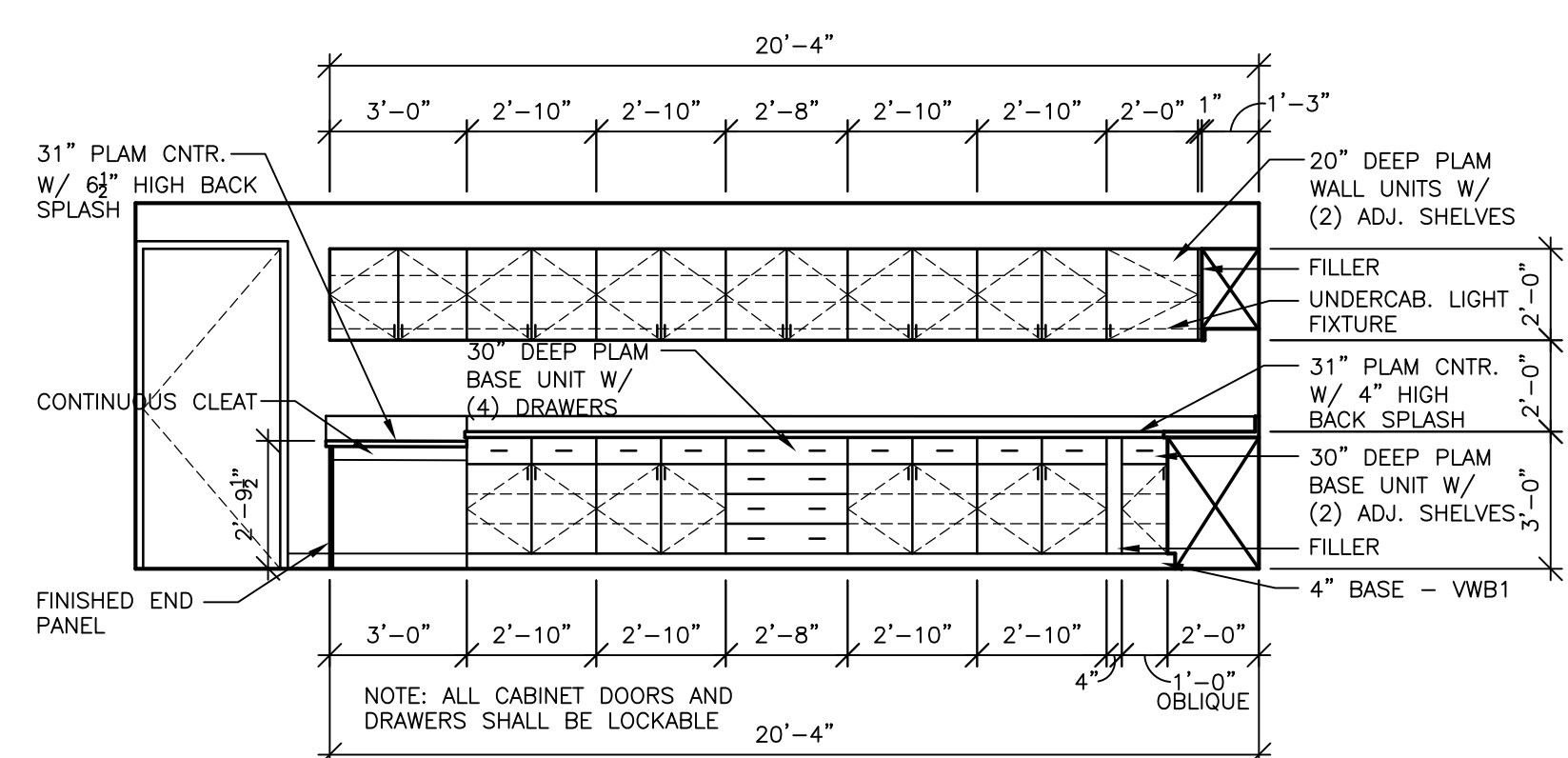
2 PHARMACY TECH. REMOVAL PLAN
1/8" = 1'-0"



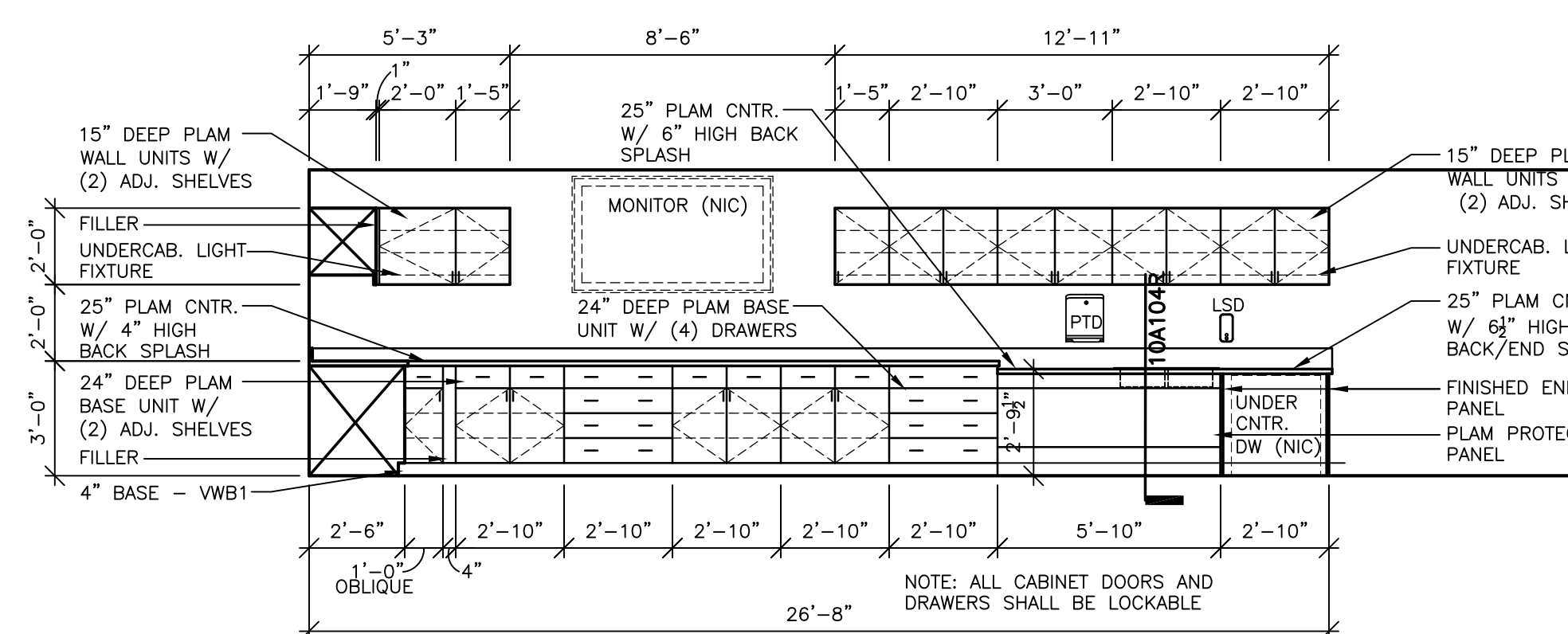
4 PHARMACY TECH. REMODEL PLAN
1/8" = 1'-0"



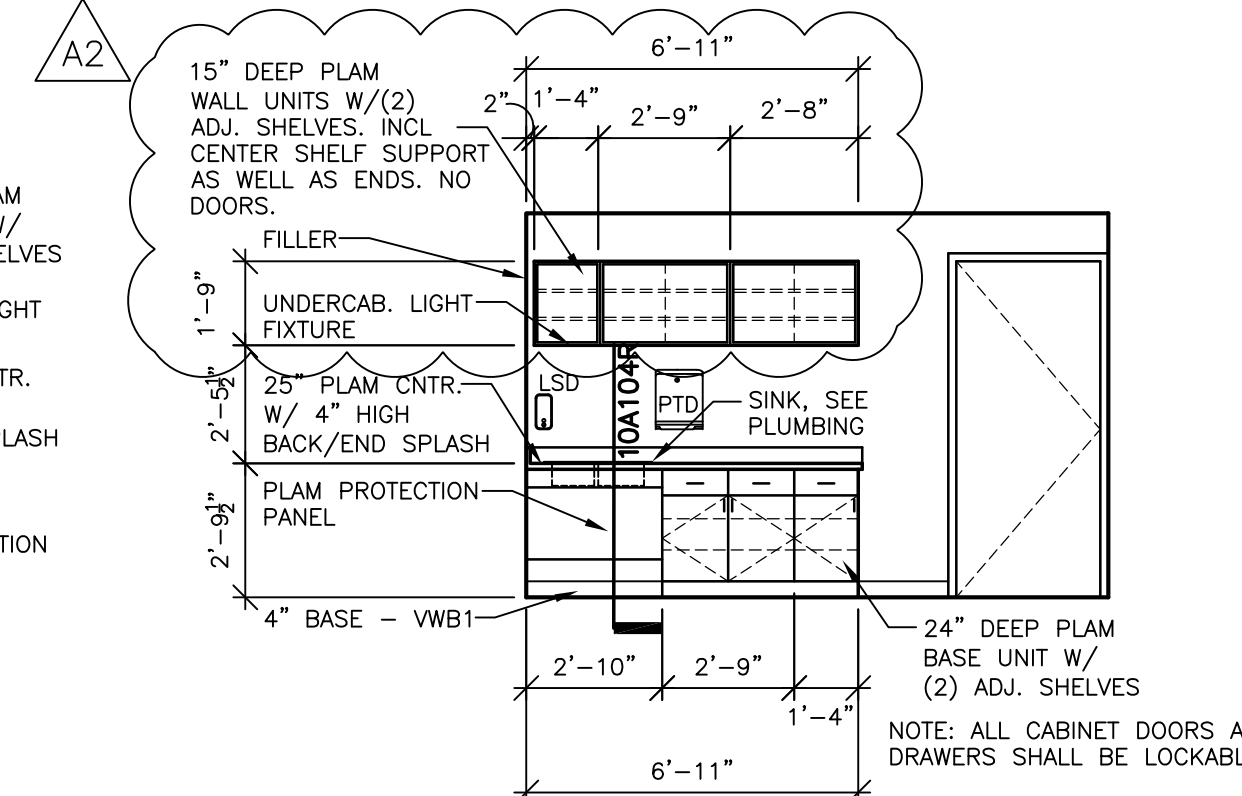
5 PHARMACY TECH. RC PLAN
1/8" = 1'-0"



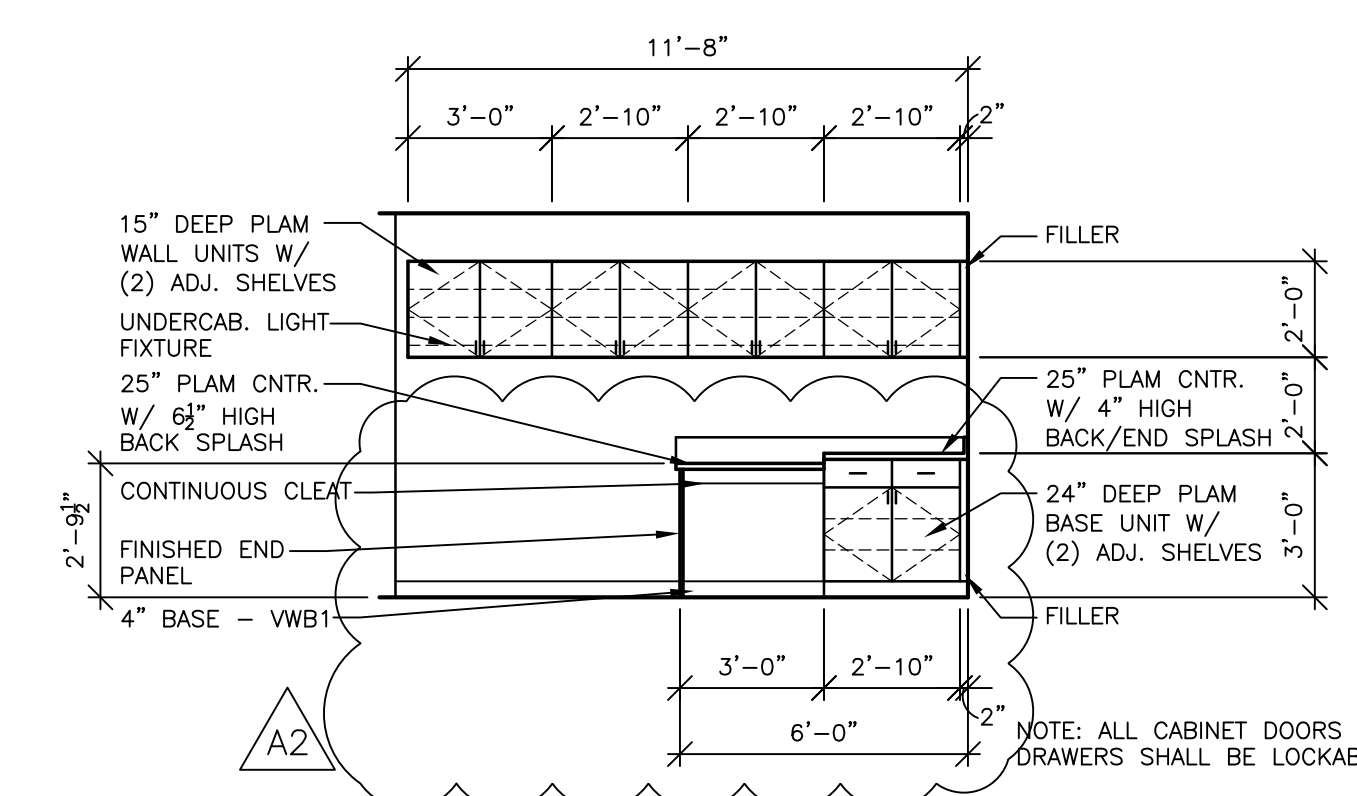
6 CASEWORK ELEVATION
1/4" = 1'-0"



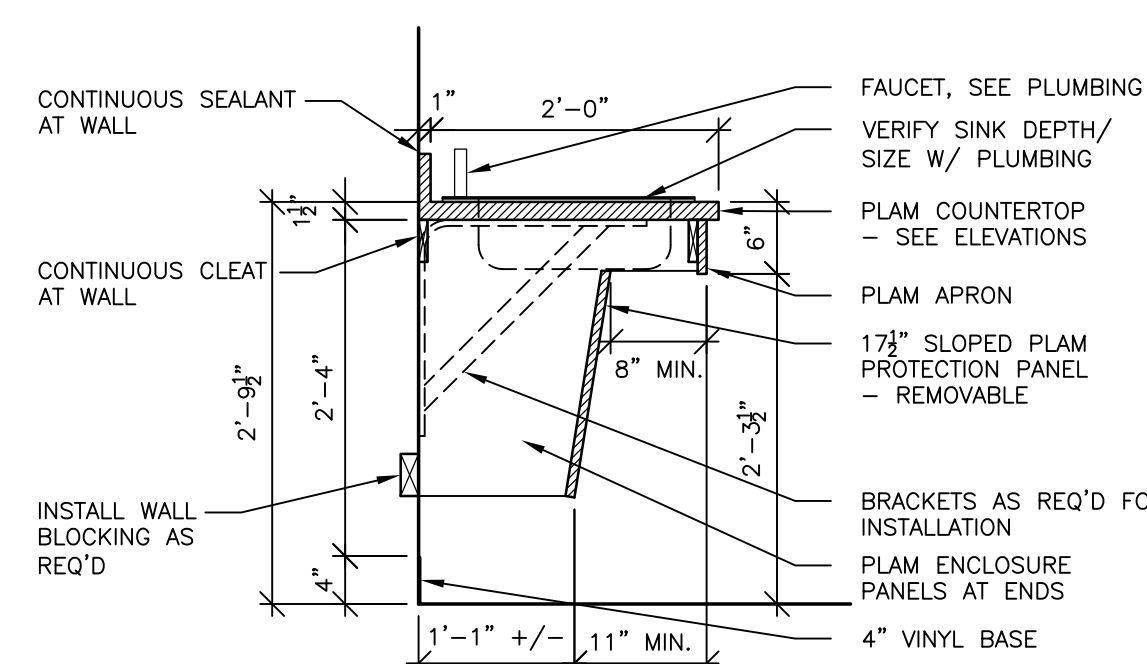
7 CASEWORK ELEVATION
1/4" = 1'-0"



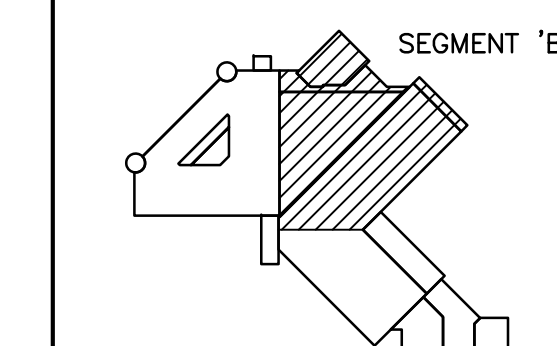
8 CASEWORK ELEVATION
1/4" = 1'-0"



9 CASEWORK ELEVATION
1/4" = 1'-0"



10 CASEWORK SINK SECTION
3/4" = 1'-0"



No.	Description	Date
A1	ADDENDUM 1	03-27-18
A2	ADDENDUM 2	04-03-18



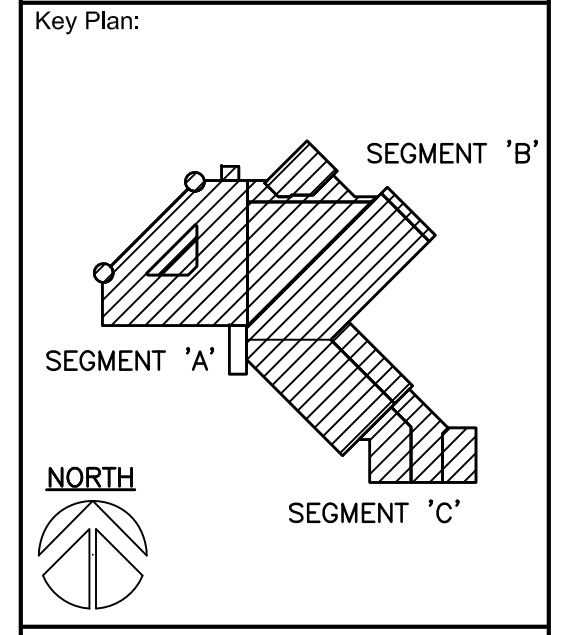
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**WTC - SUPERIOR CAMPUS
INTERIOR AND EXTERIOR
MAINTENANCE & REMODEL**
Project Location: 600 N. 21st Street
Superior, Wisconsin 54880
REFLECTED CEILING PLANS

Project Title:
Project Number:
Project Date:
Drawn By:
Key Plan:

17063-1
MARCH 2018
M.ZETTLER

Key Plan:



No.	Description	Date
A1	ADDENDUM 1	03-27-18
A2	ADDENDUM 2	04-03-18

Graphic Scale:
VARIES
Last Update:
04/03/2018

A110R

CEILING PLAN GENERAL NOTES:

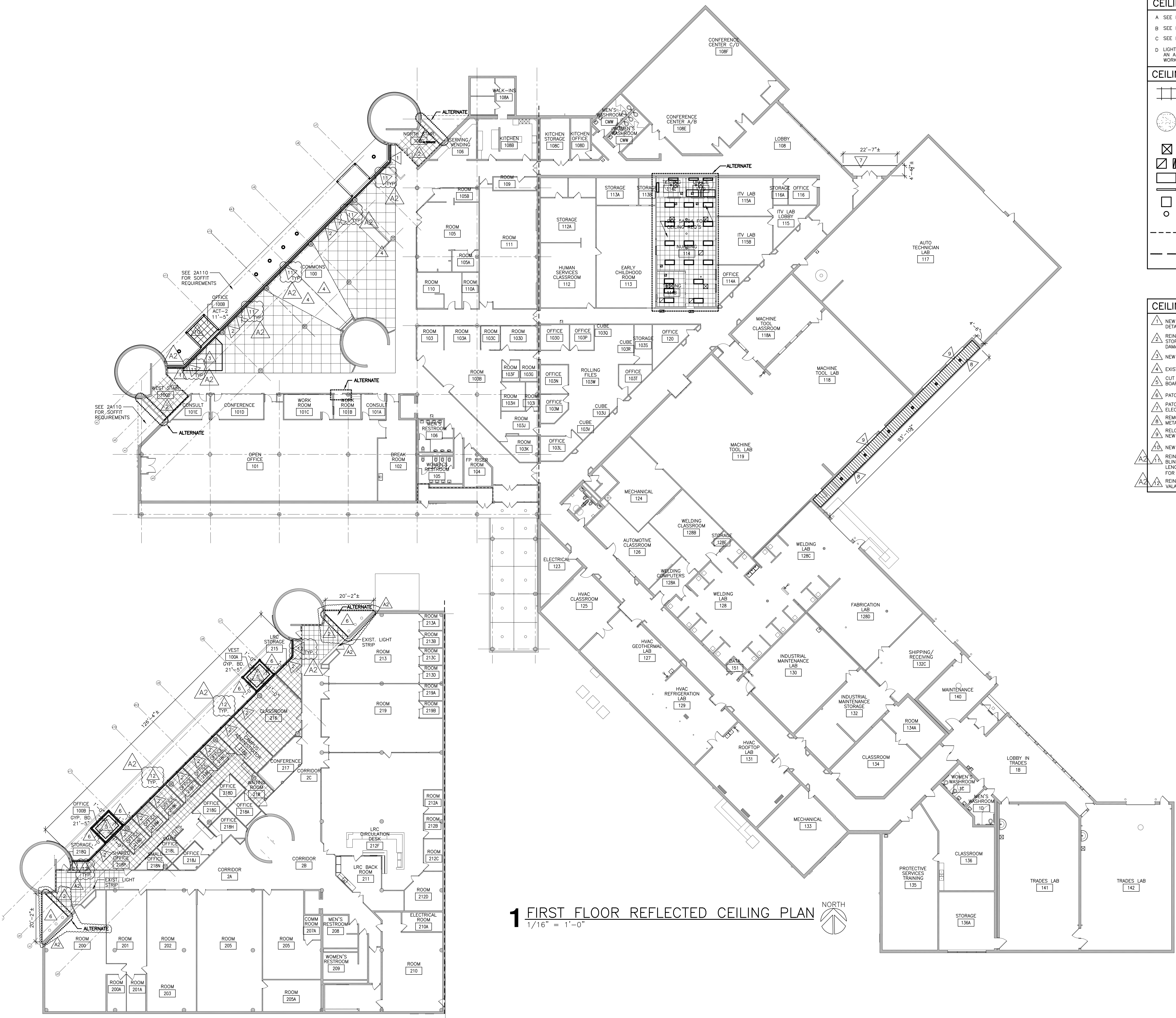
- A SEE MECH. FOR CLG. ACCESS PANEL LOCATIONS & SIZES.
- B SEE MECH. FOR CLG. GRILLE INFORMATION
- C SEE ELEC. FOR LIGHTING TYPES
- D LIGHTING REPLACEMENT AT EXISTING EXTERIOR SOFFITS TO BE AN ALTERNATE BID - SEE ELECTRICAL FOR EXTENTS OF WORK.

CEILING GRAPHICS LEGEND:

- LAY-IN ACOUSTICAL CEILING TILE.
- NEW GYP. BD. CEILING, SOFFIT OR BULKHEAD, PAINTED.
- NEW SUSPENDED PLASTER CEILING SYSTEMS. (EXTERIOR) SEE KEY NOTES.
- SUPPLY DIFFUSER - SEE MECH
- RETURN OR EXHAUST GRILLE - SEE MECH
- 2X4 LIGHT FIXTURE - SEE ELEC
- LIGHT FIXTURE - SEE ELEC
- 2X2 LIGHT FIXTURE - SEE ELEC
- CAN LIGHT FIXTURE - SEE ELECTRICAL
- 1 HR FIRE BARRIER WALL W/ TOP OF WALL CLOSURE
- 2 HR FIRE BARRIER WALL W/ TOP OF WALL CLOSURE

CEILING PLAN KEY NOTES:

- NEW PARTICLE BOARD AND LAMINATE BULKHEAD, SEE DETAILS. BACK OF NEW TO ALIGN WHERE THE OLD WAS.
- REINSTALL / REPAIR EXISTING CEILING GRID @ NEW STOREFRONT AND REINSTALL SALVAGE CEILING TILE. DAMAGED TILES WILL NOT BE ACCEPTED.
- NEW 4'x4' ACT CEILING. (USE ATTIC STOCK FOR TILES)
- EXISTING CEILING CLOUDS TO REMAIN.
- CUT STUCCO SOFFIT & REPLACE WITH SUSPENDED GYP. BOARD CEILING.
- PATCH & PAINT STUCCO SOFFIT.
- PATCH & APPLY NEW FINISH COAT TO EIFS SOFFIT. SEE ELECTRICAL FOR LIGHTING REQUIREMENTS.
- REMOVE EXISTING METAL SOFFIT & REPLACE WITH NEW METAL SOFFIT - SEE ELEC. FOR LIGHTING REQUIREMENTS.
- RELOCATE FIRE SPRINKLER LINE INTO PLENUM ABOVE NEW METAL SOFFIT.
- NEW CEILING GRID WITHOUT TILES.
- REINSTALL/RECONNECT EXISTING POWERED WINDOW BLINDS EXCEPT WHERE REQUIRED TO BE MODIFIED IN LENGTH - SALVAGE THOSE TO OWNER. SEE ELECTRICAL FOR POWER REQ'S.
- REINSTALL EXISTING MANUAL WINDOW BLINDS AND VALANCES.



1 FIRST FLOOR REFLECTED CEILING PLAN
1/16" = 1'-0"

2 SECOND FLOOR REFLECTED CEILING PLAN
1/16" = 1'-0"



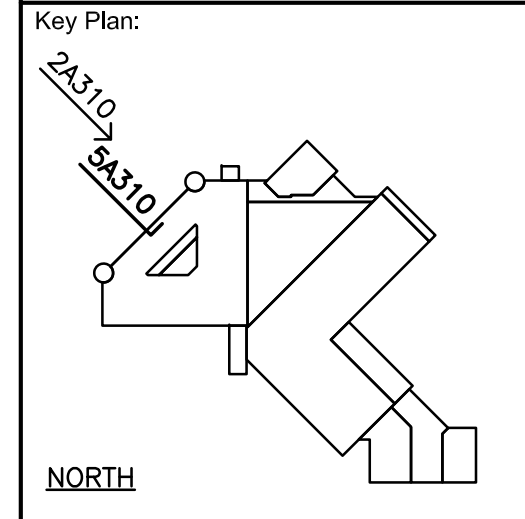
HSR ASSOCIATES INC.
100 MILWAUKEE STREET
LA CROSSE, WISCONSIN
PHONE: 608.784.1830
FAX: 608.782.5844
WEB SITE: www.hsrassociates.com
Consultant:

WITC - SUPERIOR CAMPUS
SUPERIOR INTERIOR AND EXTERIOR
MAINTENANCE & REMODEL
Project Location: 600 N. 21st Street
Superior, Wisconsin 54880
Sheet Title: TRUSS DETAILS

Project Title:
HSR Project Number:
Project Date:
Drawn By:
Key Plans:

17063-1
MARCH 2018
M.ZETTLER

2A310
2A310



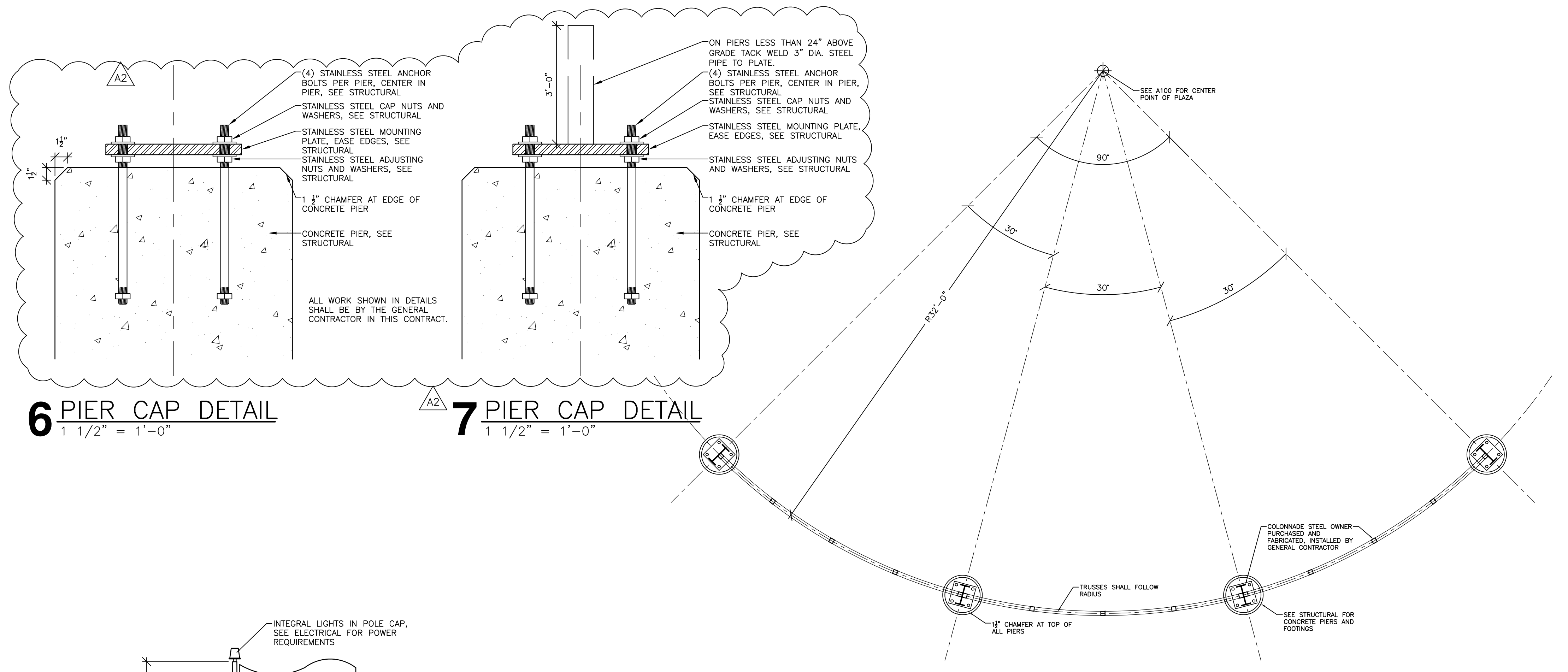
NORTH

Revisions:	No.	Description	Date
	A1	ADDENDUM 1	03-27-18
	A2	ADDENDUM 2	04-03-18

Graphic Scale:
VARIES

Last Update:
04/03/2018

A310R



P1 RIVER ROCK STAMPED CONCRETE PATTERN
NONE

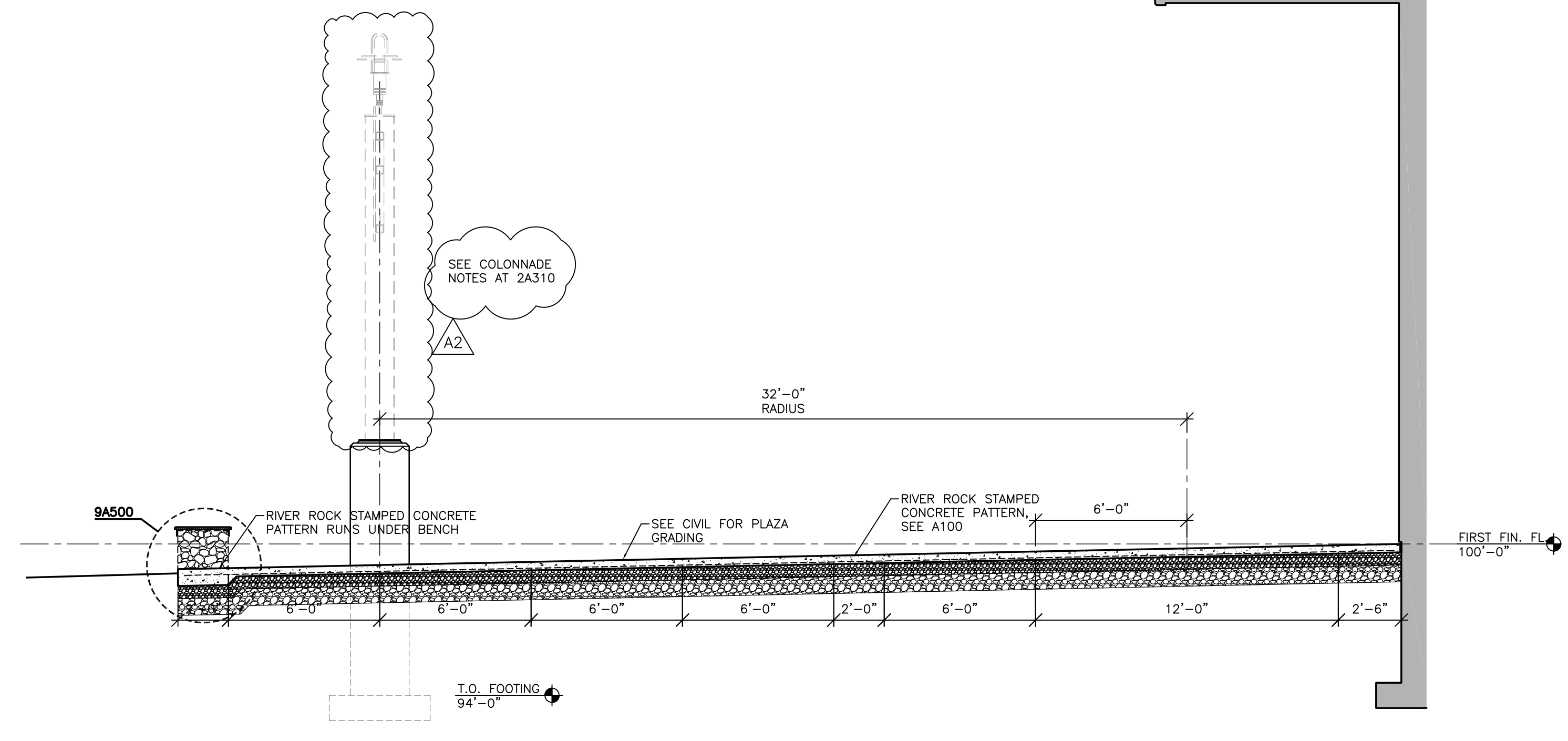
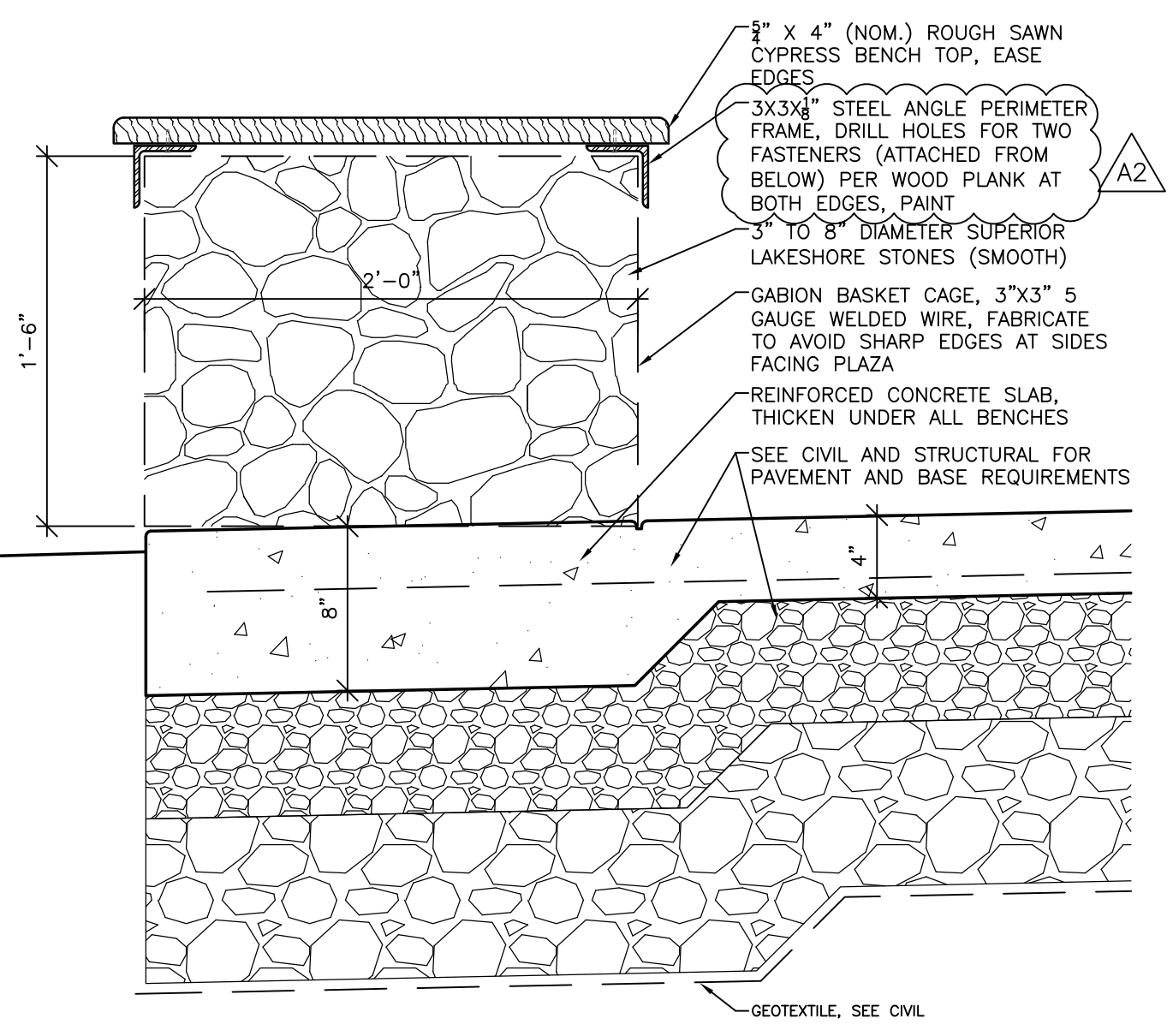
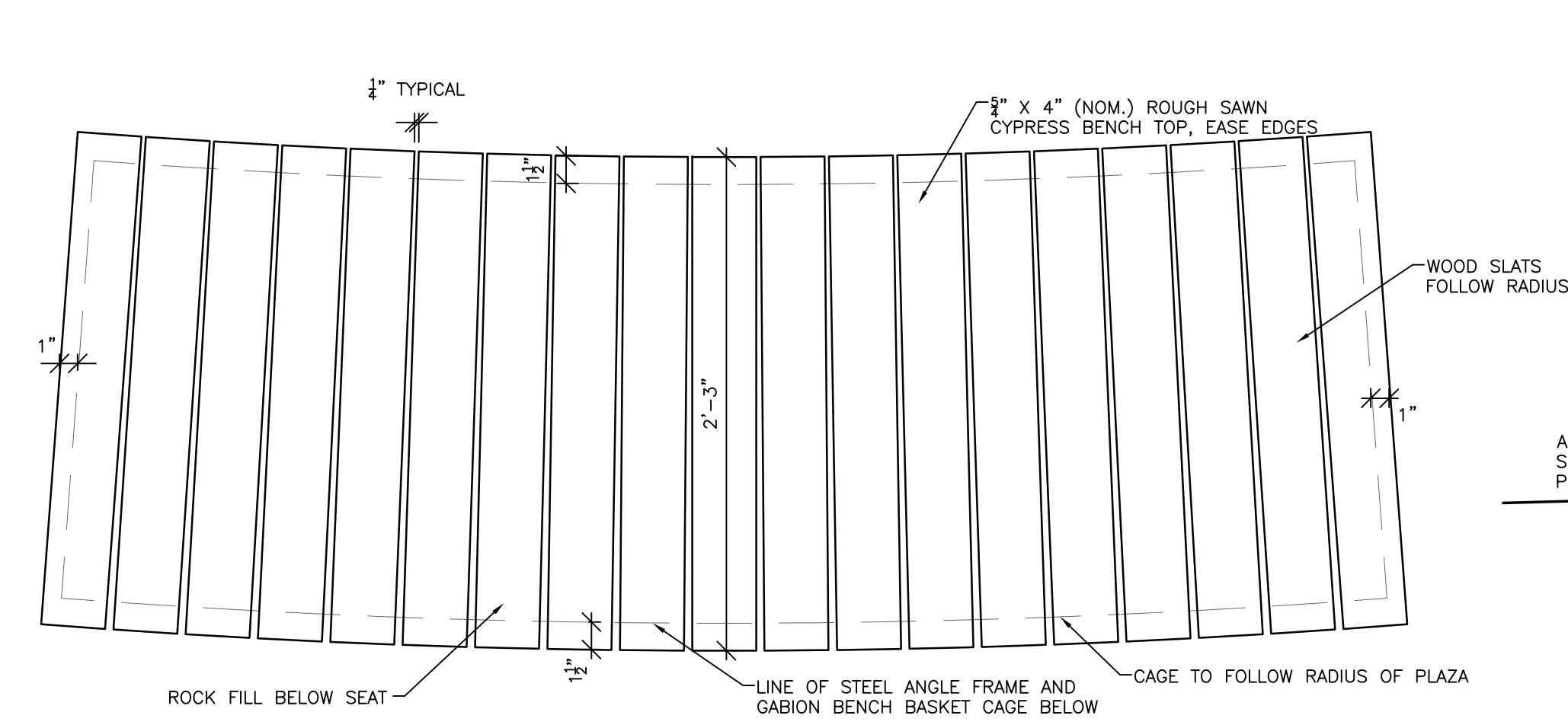
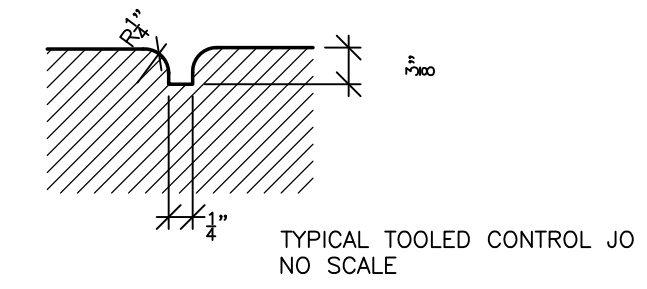
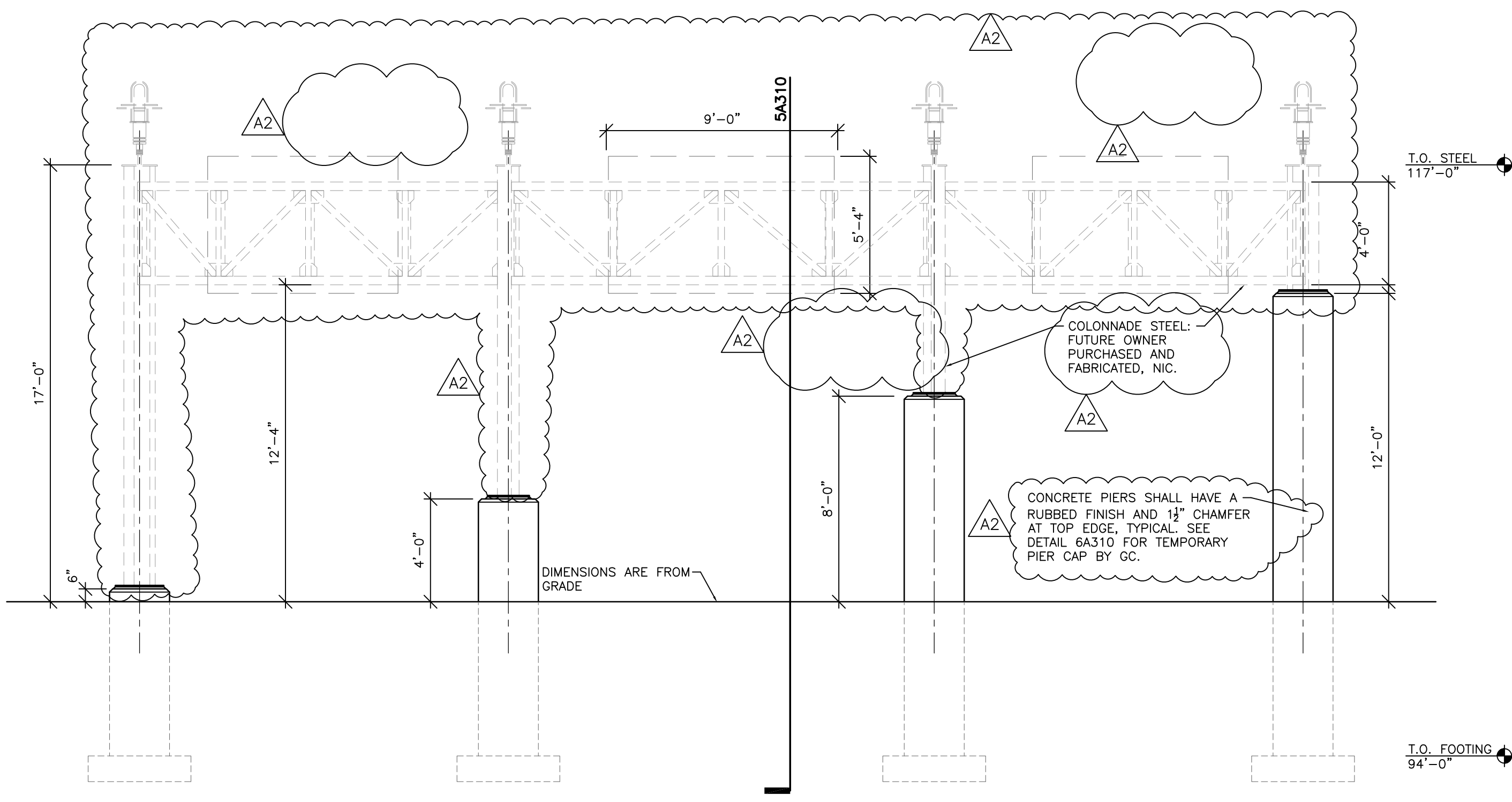
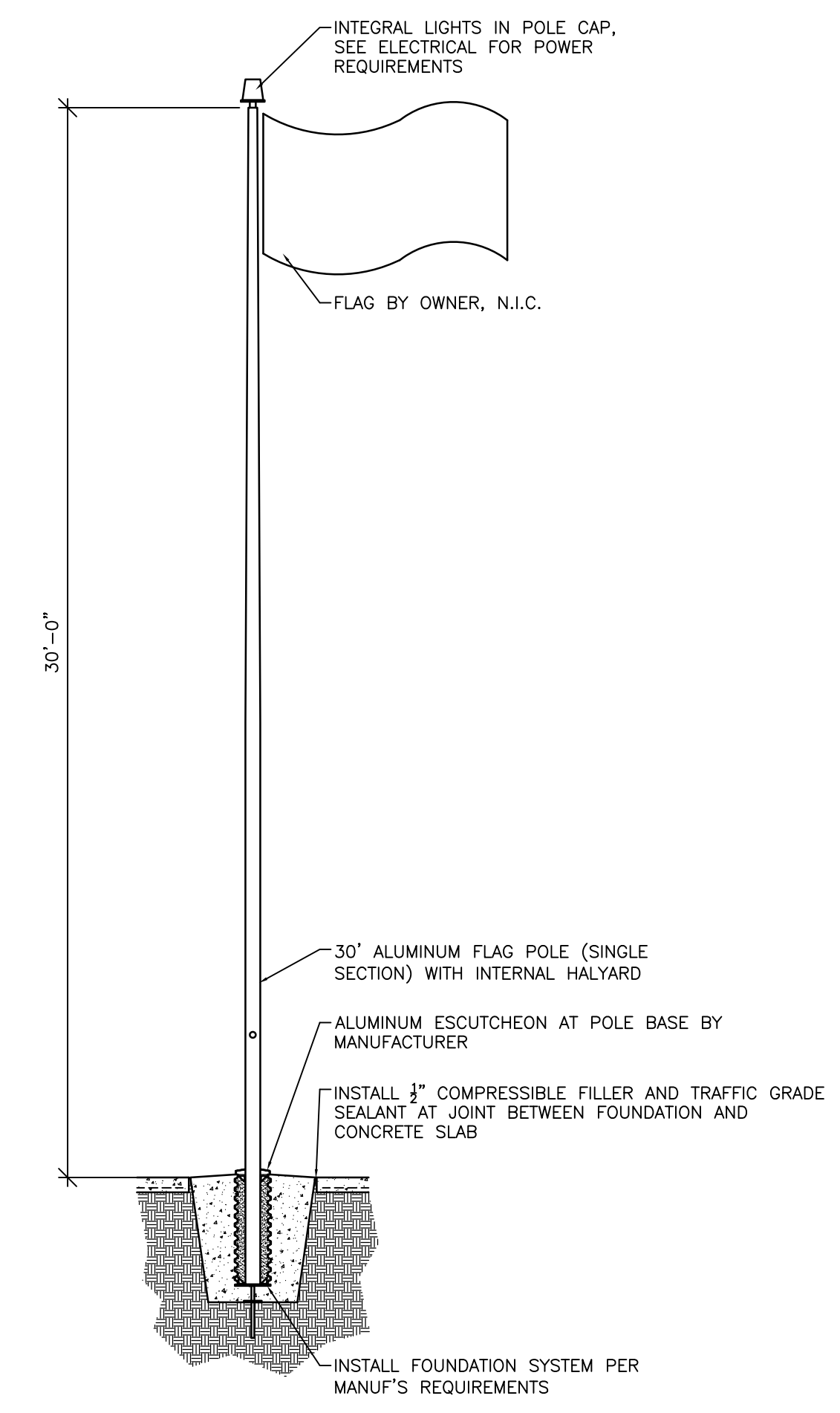


P2 WOOD PLANK STAMPED CONCRETE PATTERN
NONE



P3 GABION BENCH
NONE

REMOVE PERIMETER BOARD AND REPLACE WITH STEEL ANGLE FRAME.
TYPICAL WOOD PLANK CONFIGURATION ON CURVED BENCHES.



3 GABION BENCH PLAN DETAIL
1 1/2" = 1'-0"

4 GABION BENCH DETAIL
1 1/2" = 1'-0"

5 PLAZA SECTION
1/4" = 1'-0"



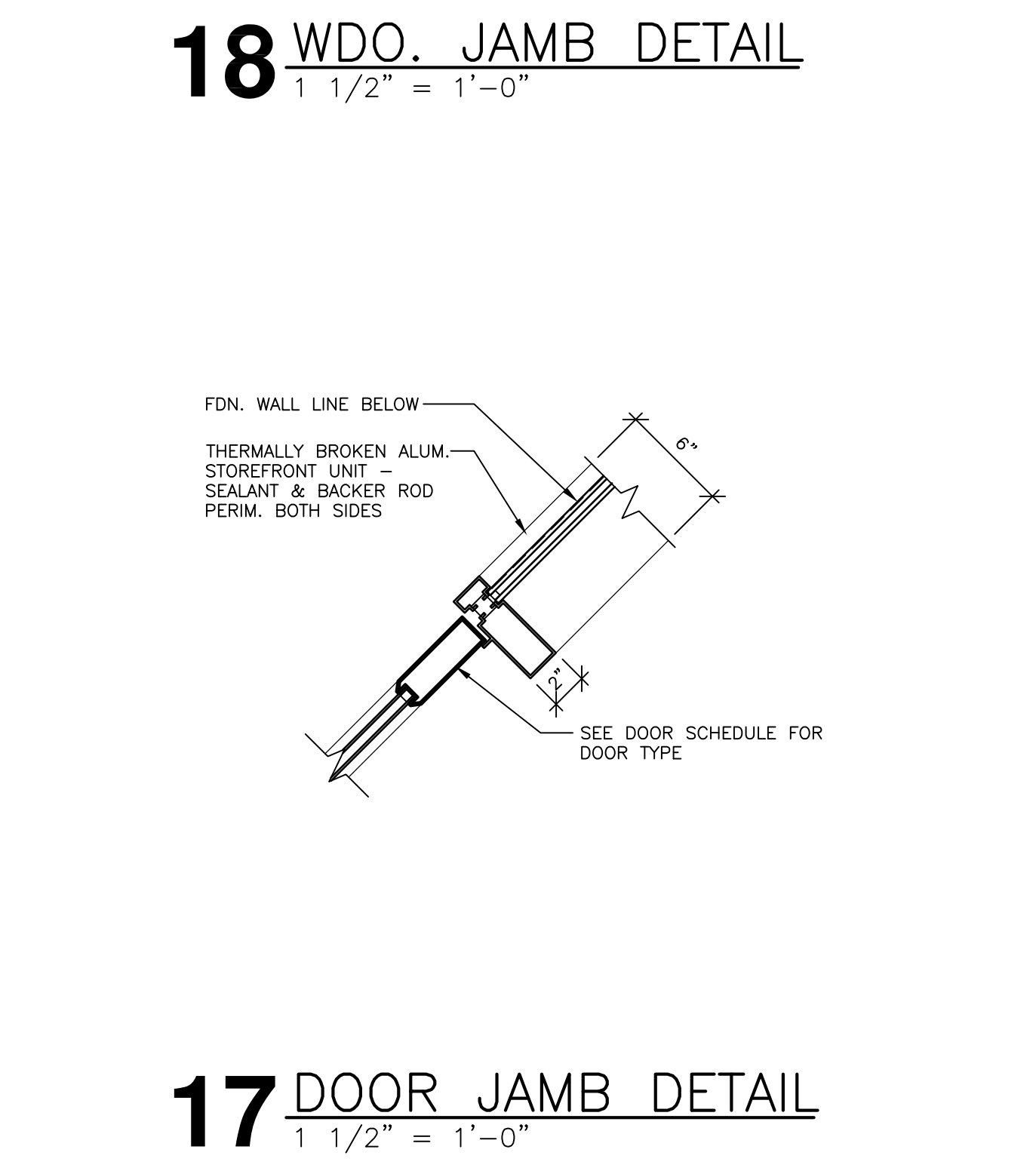
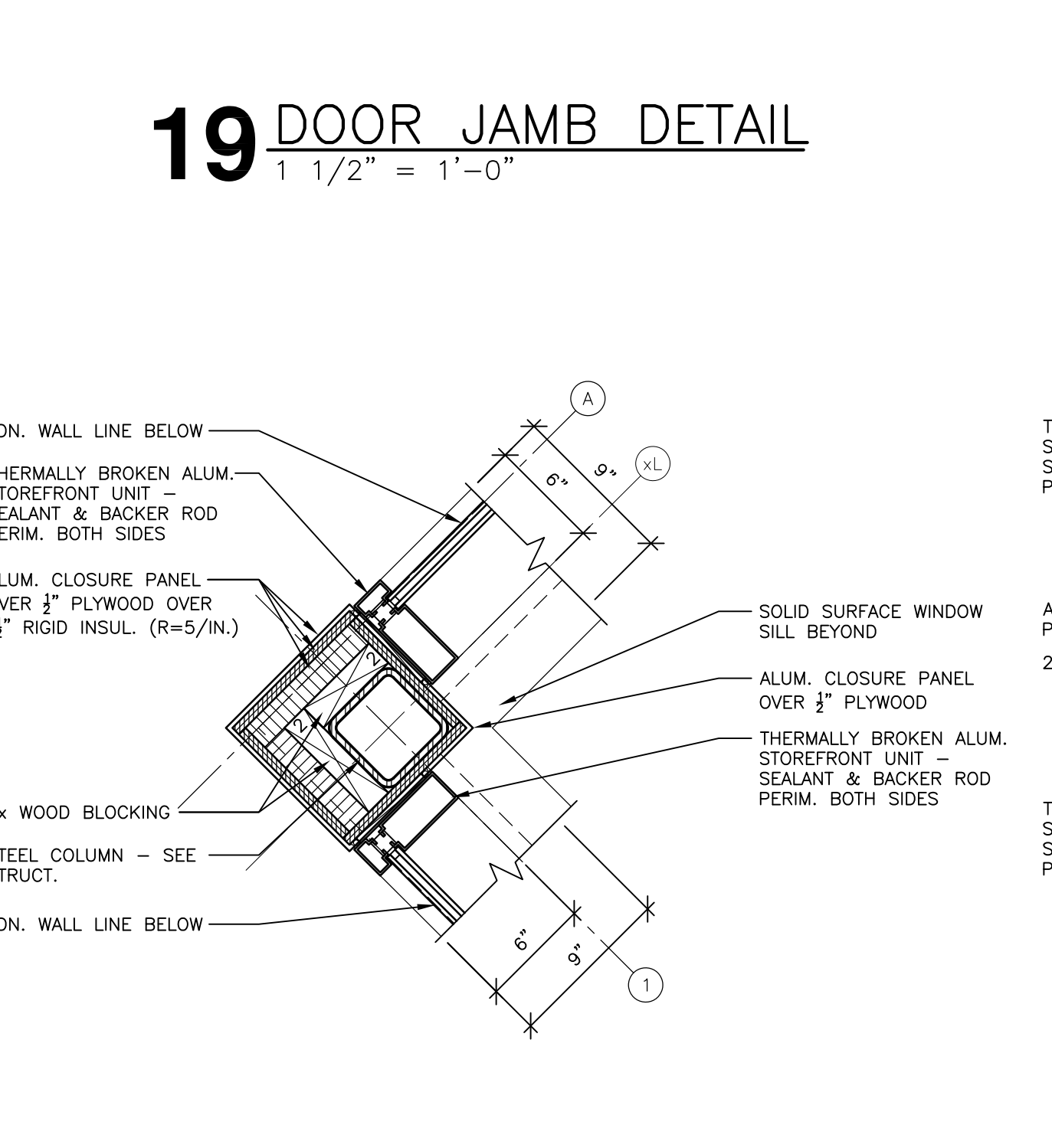
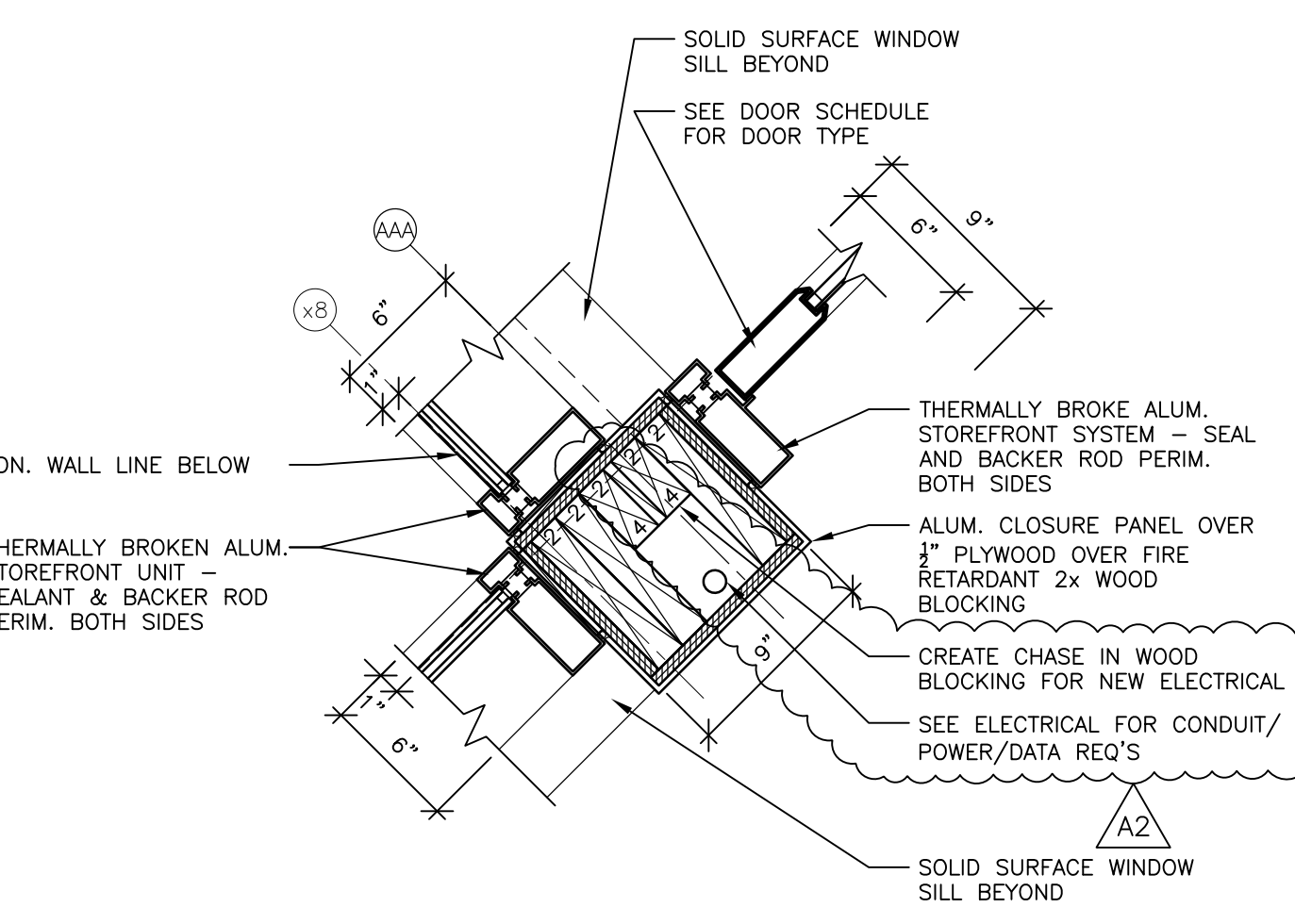
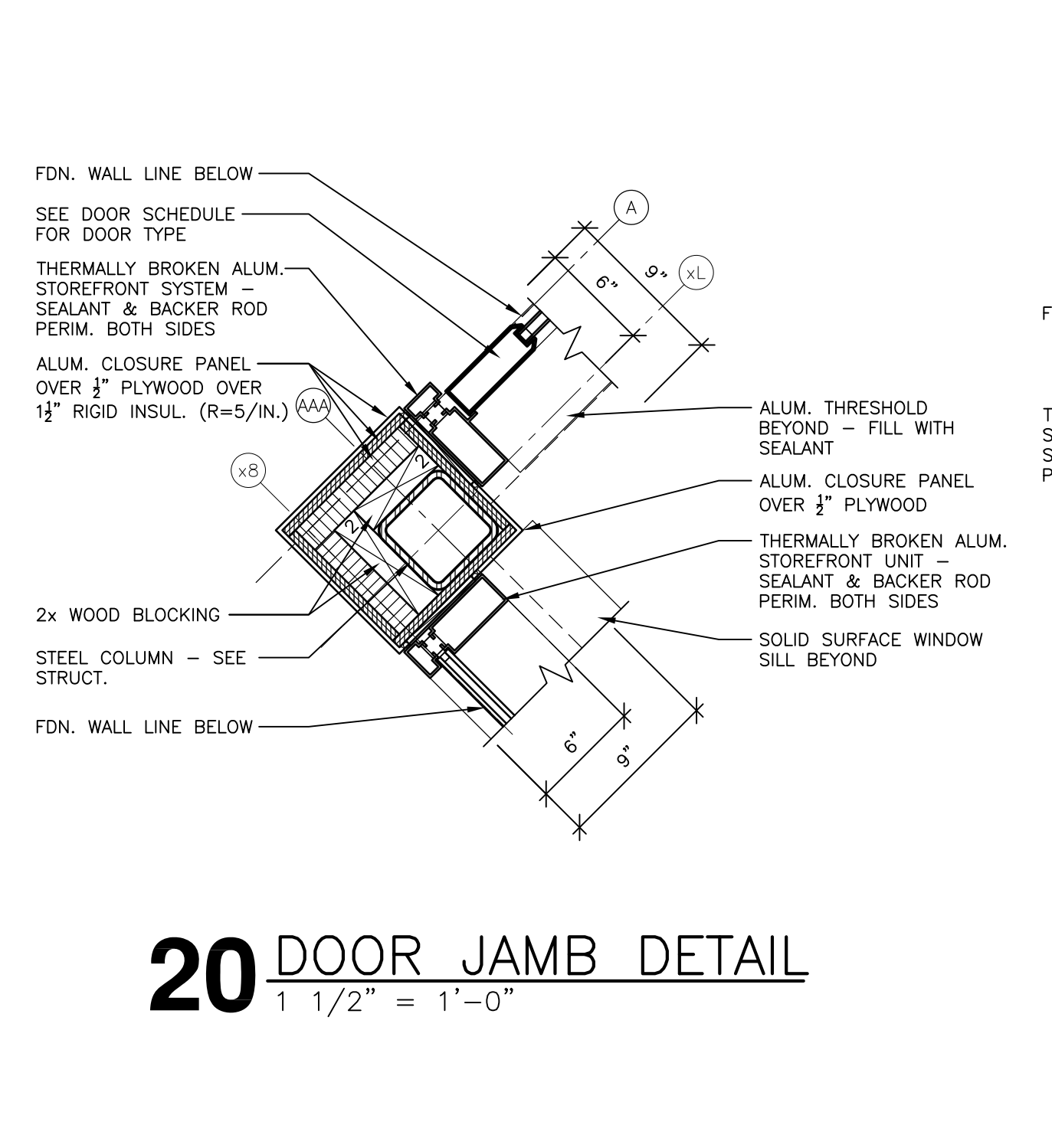
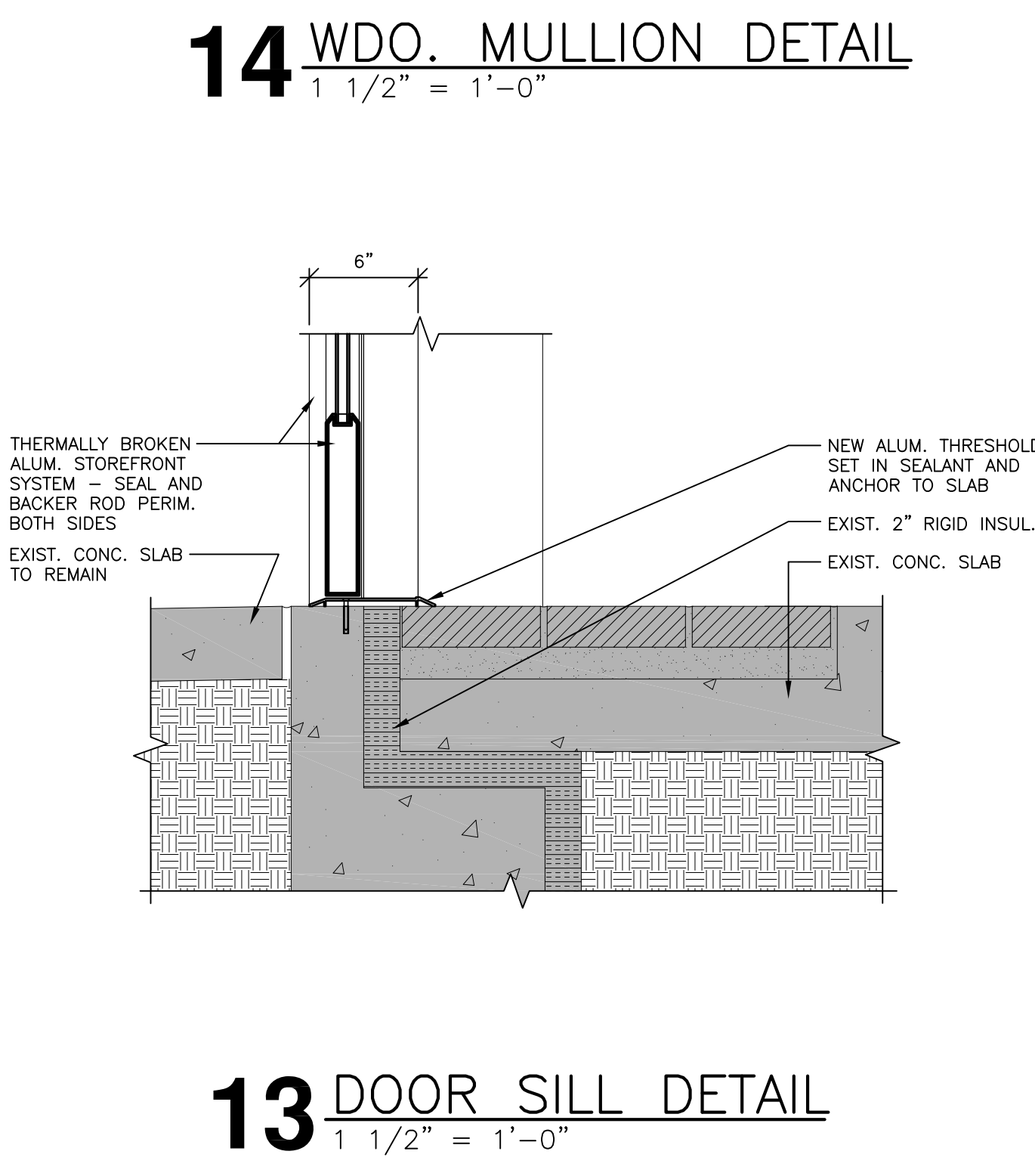
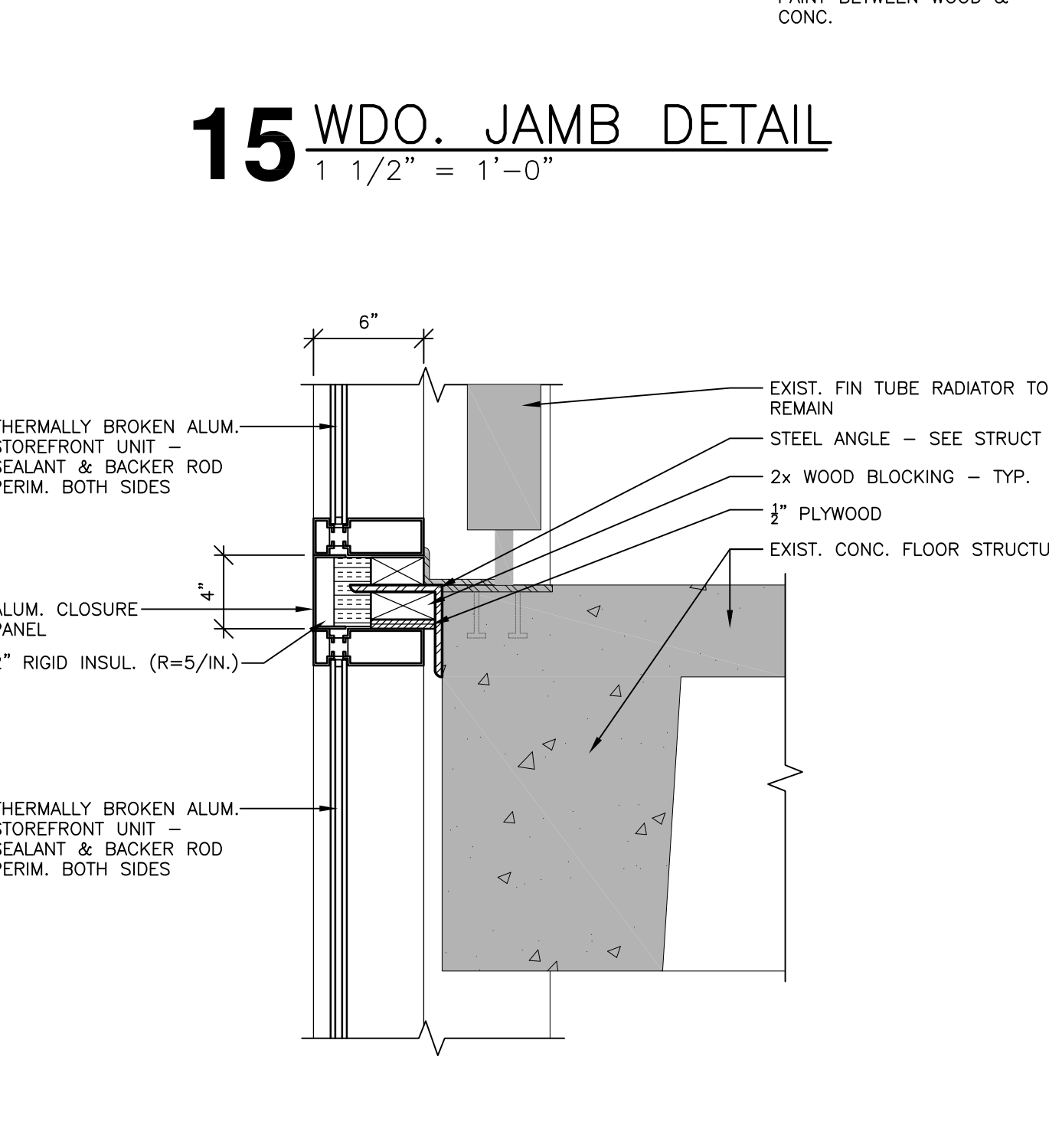
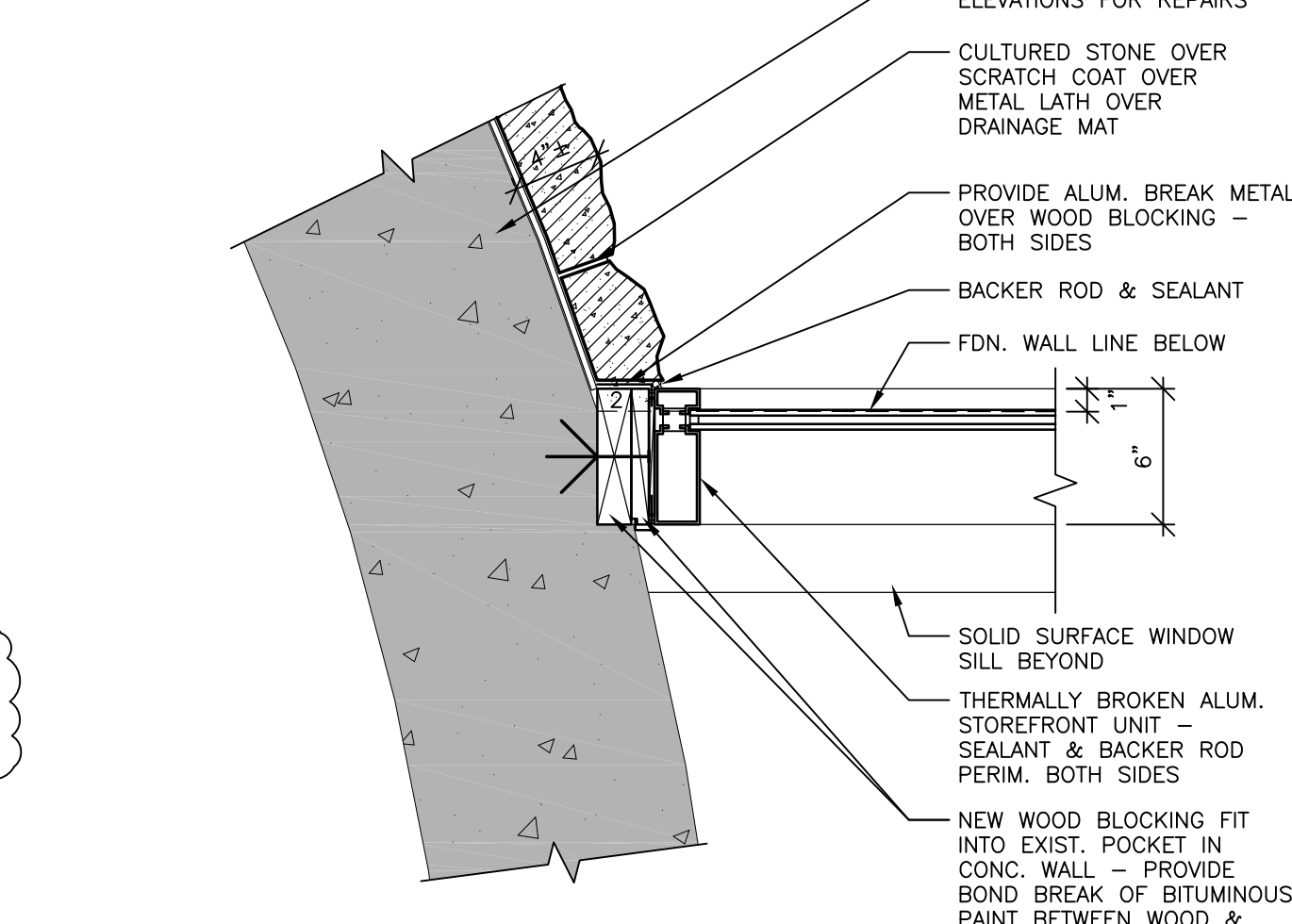
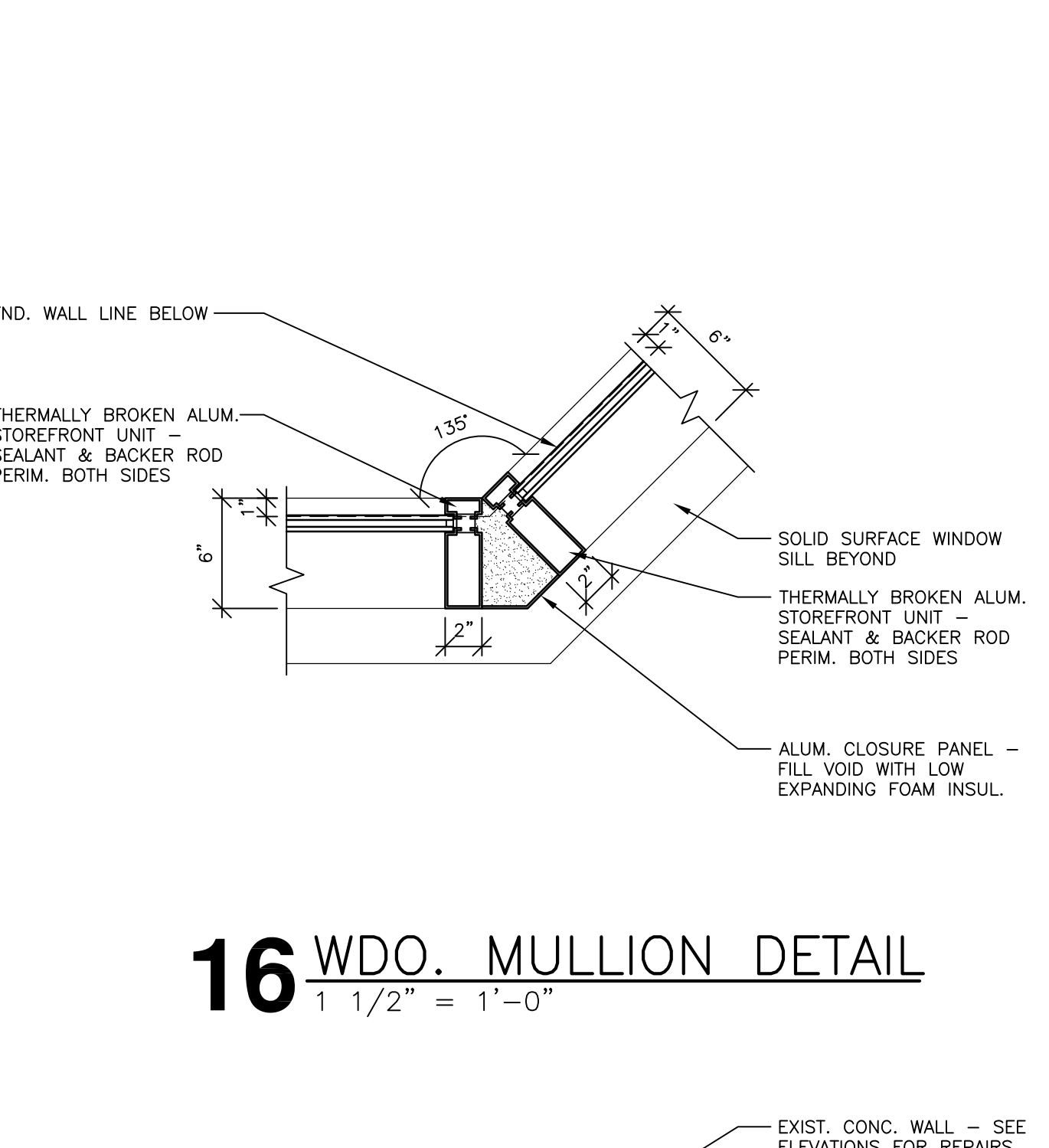
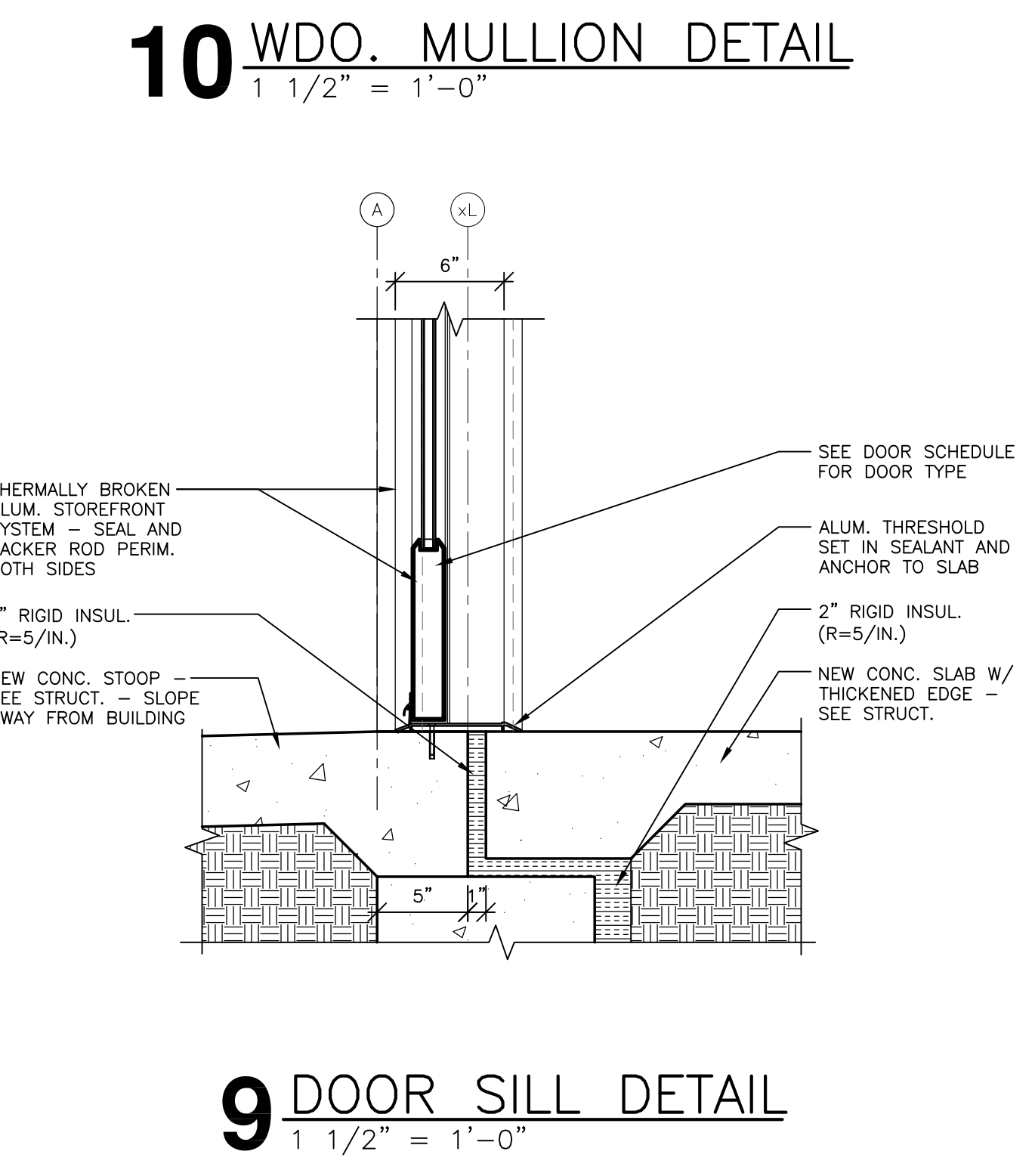
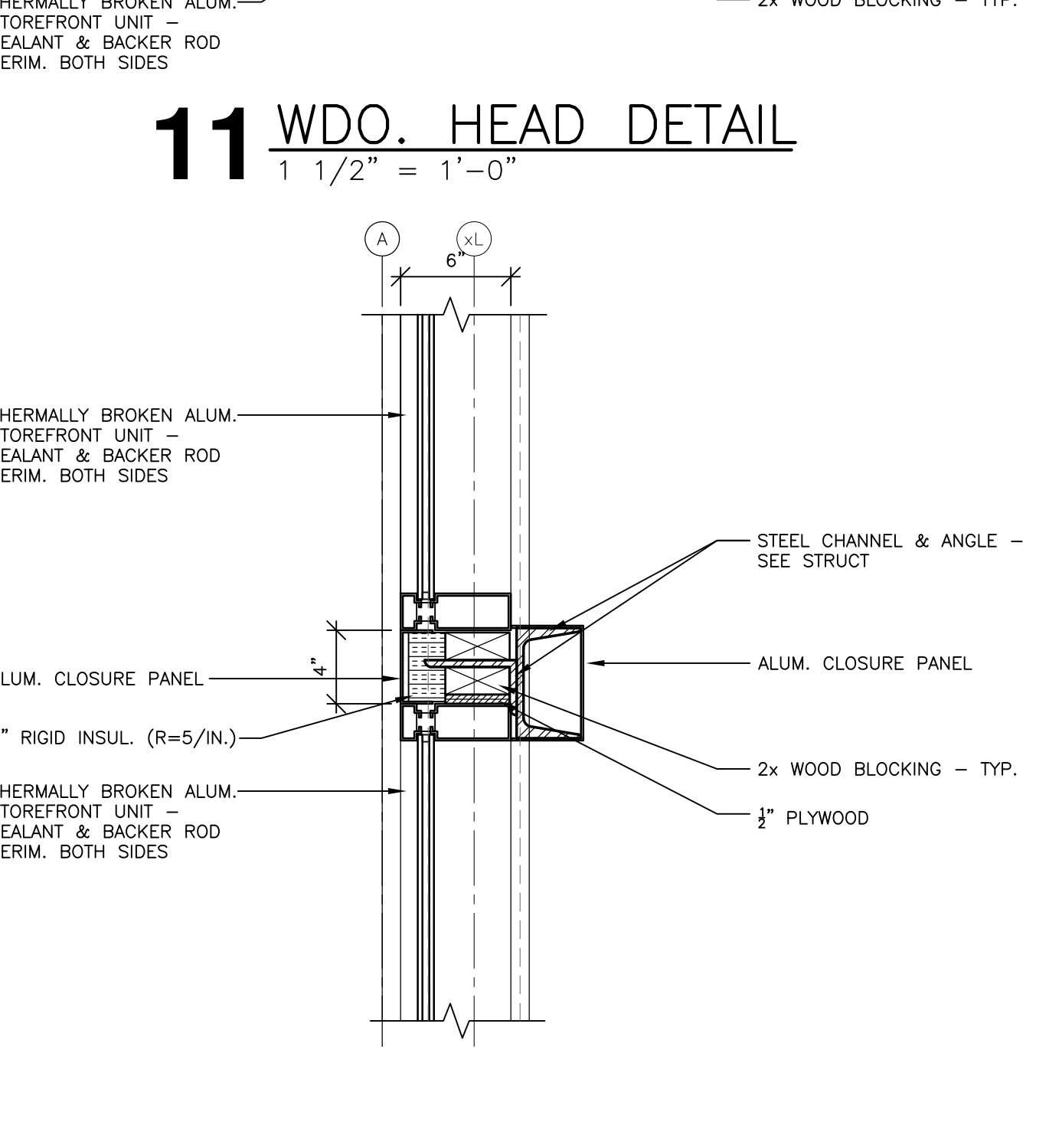
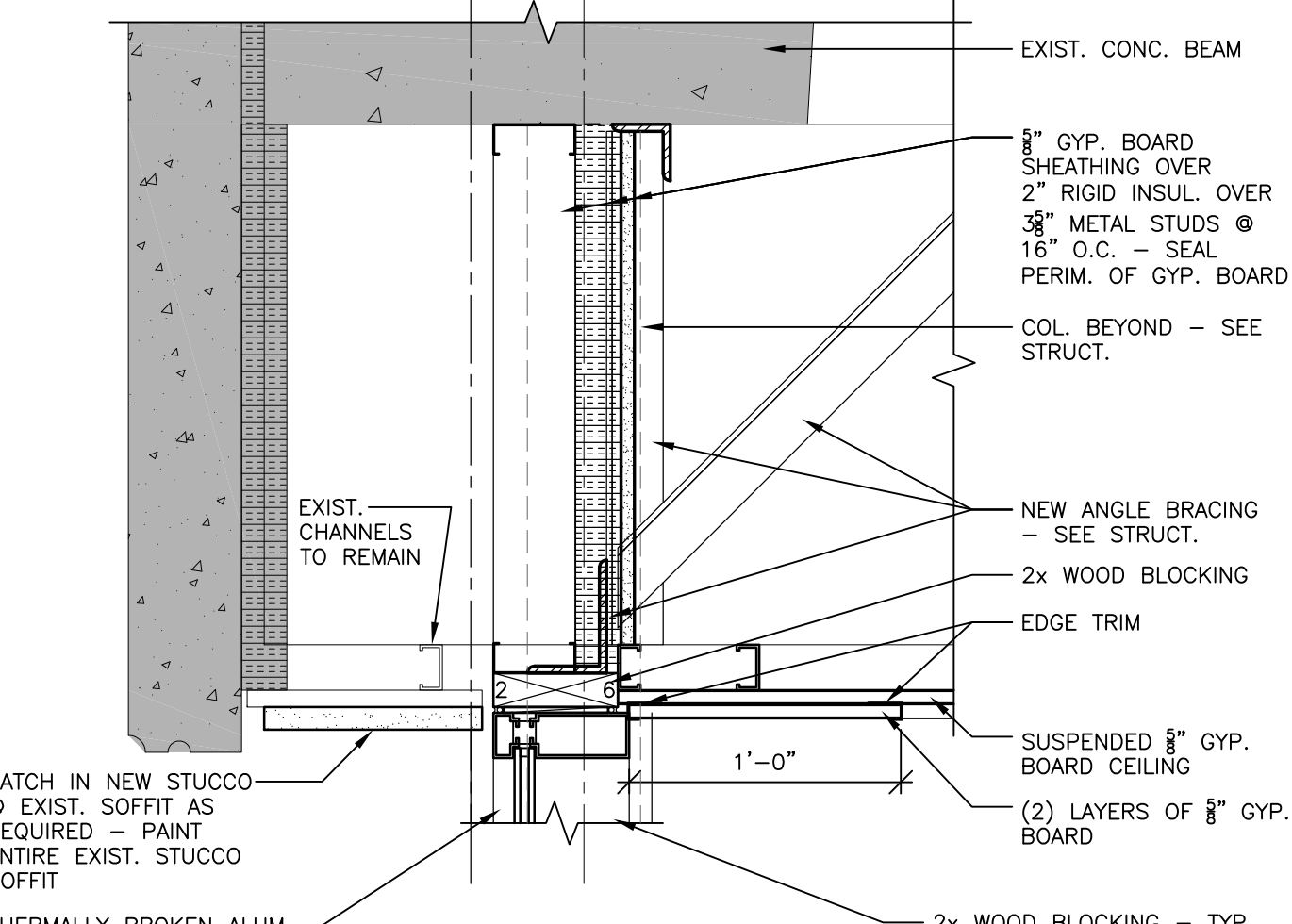
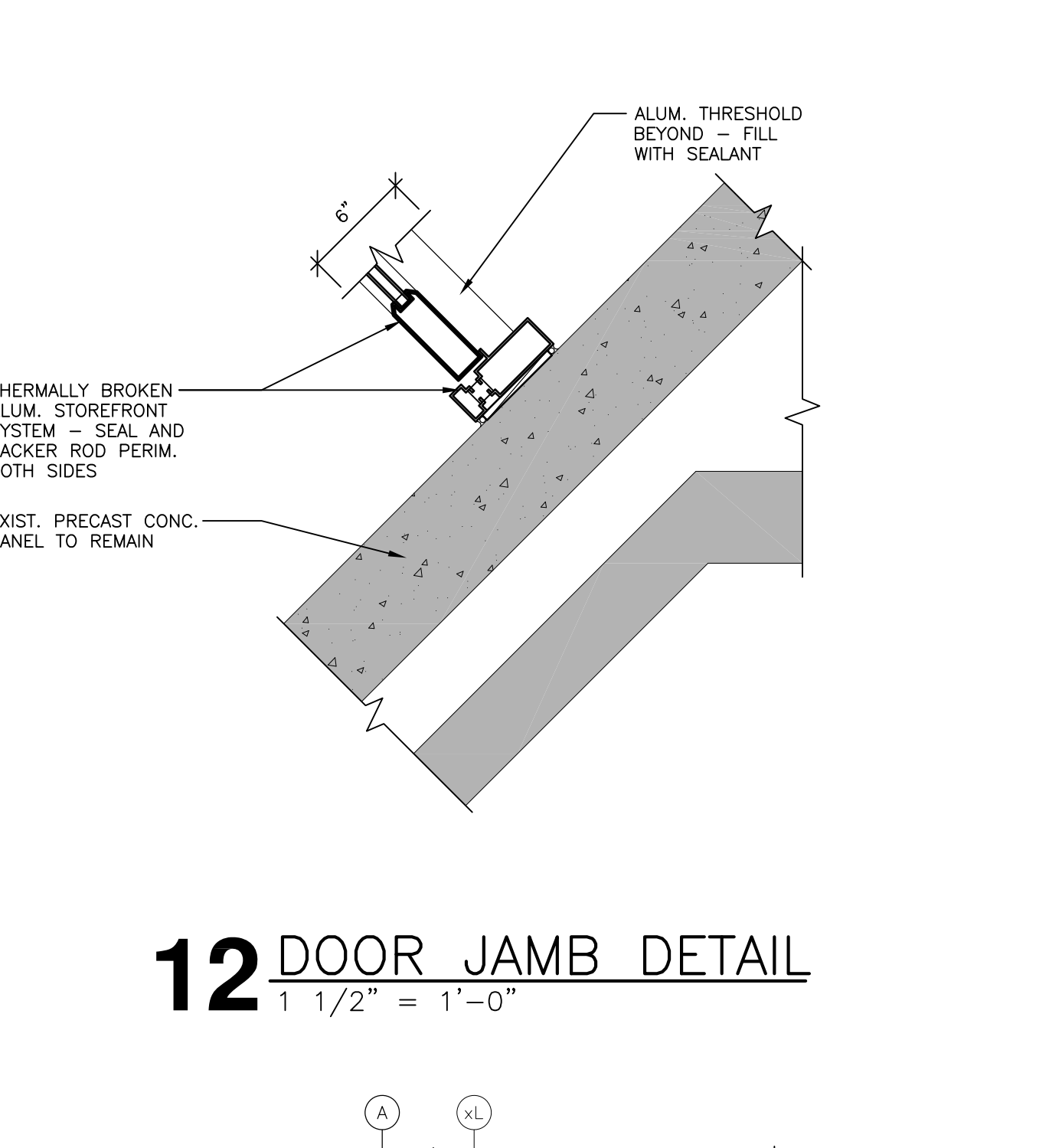
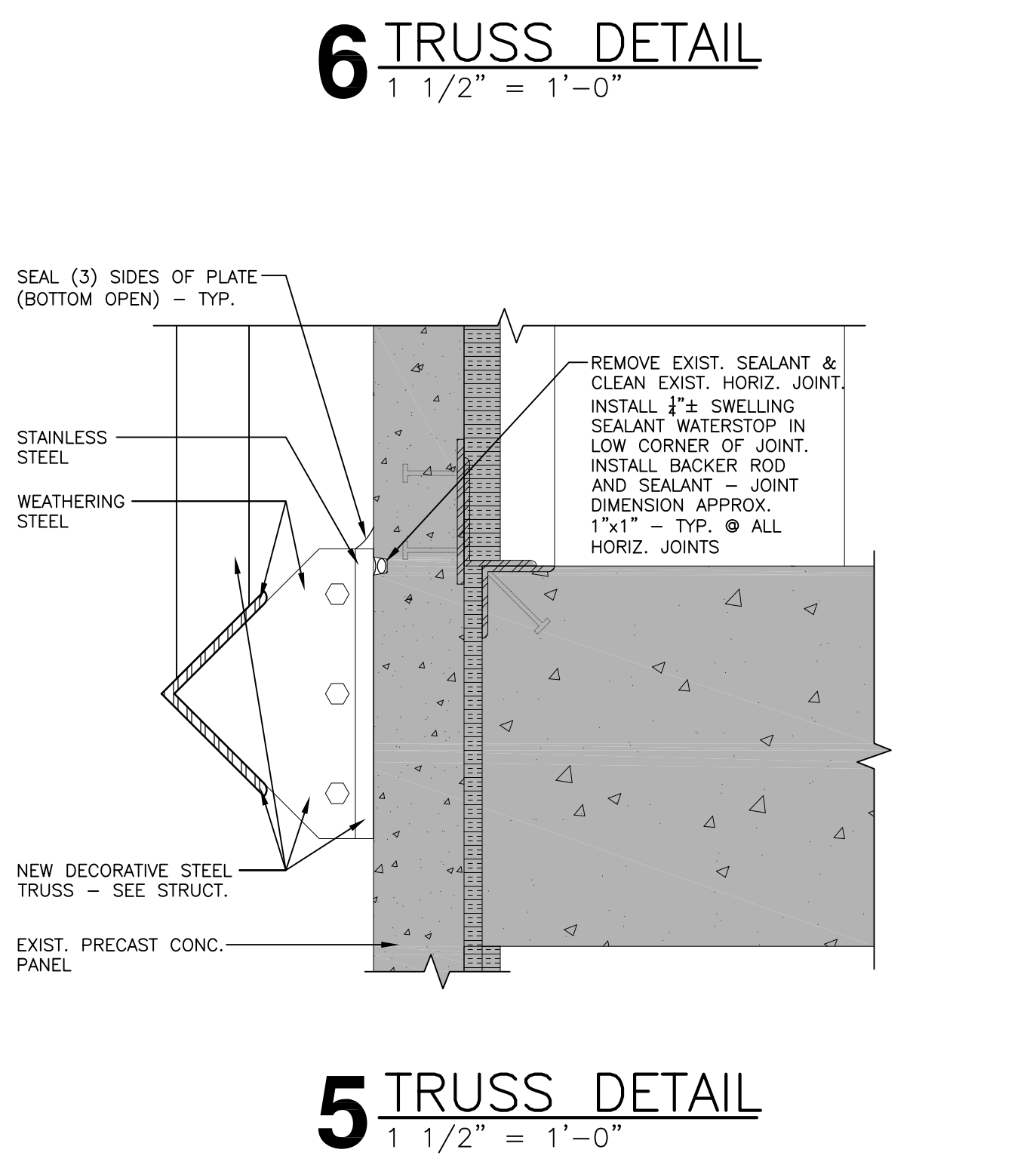
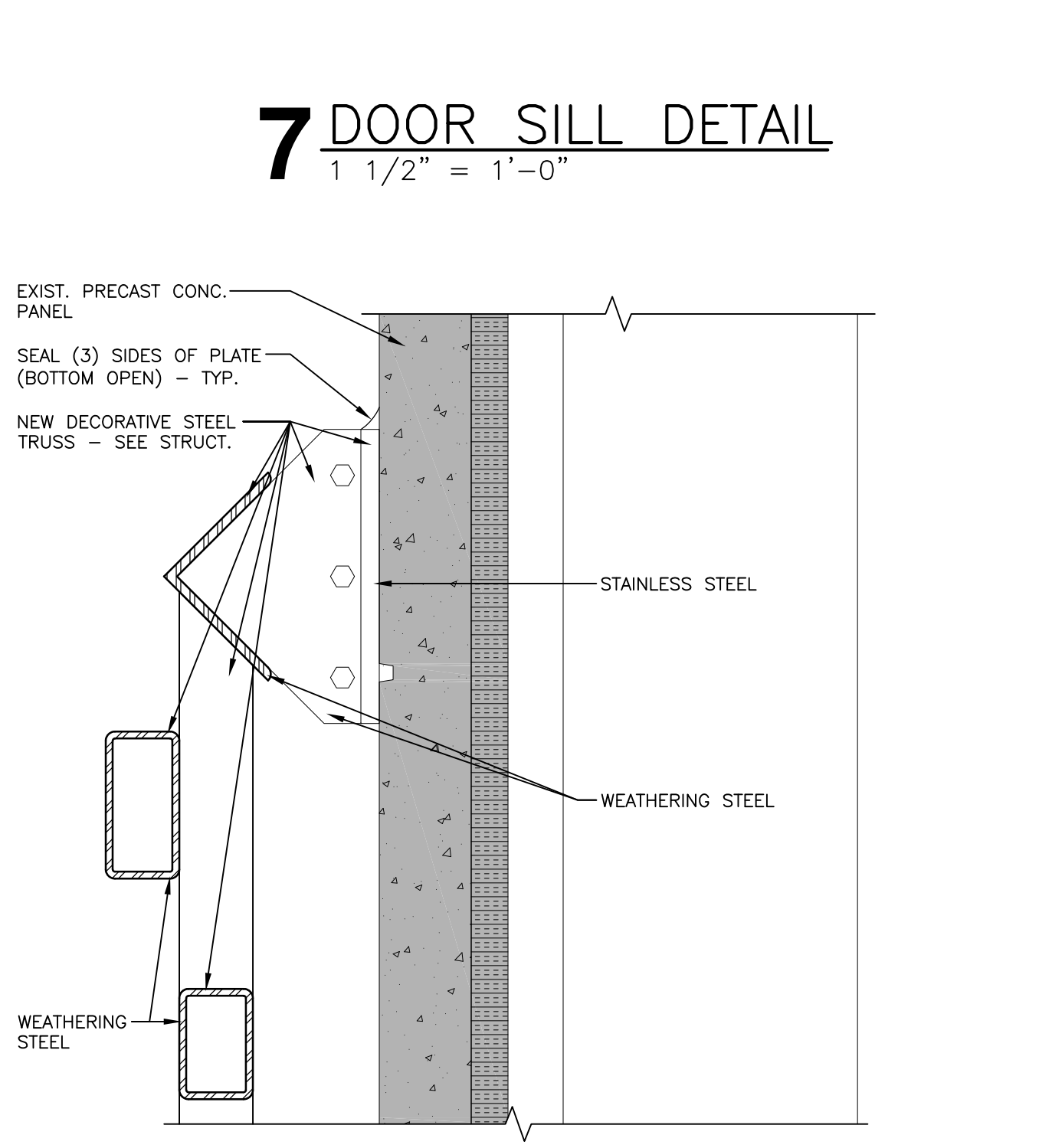
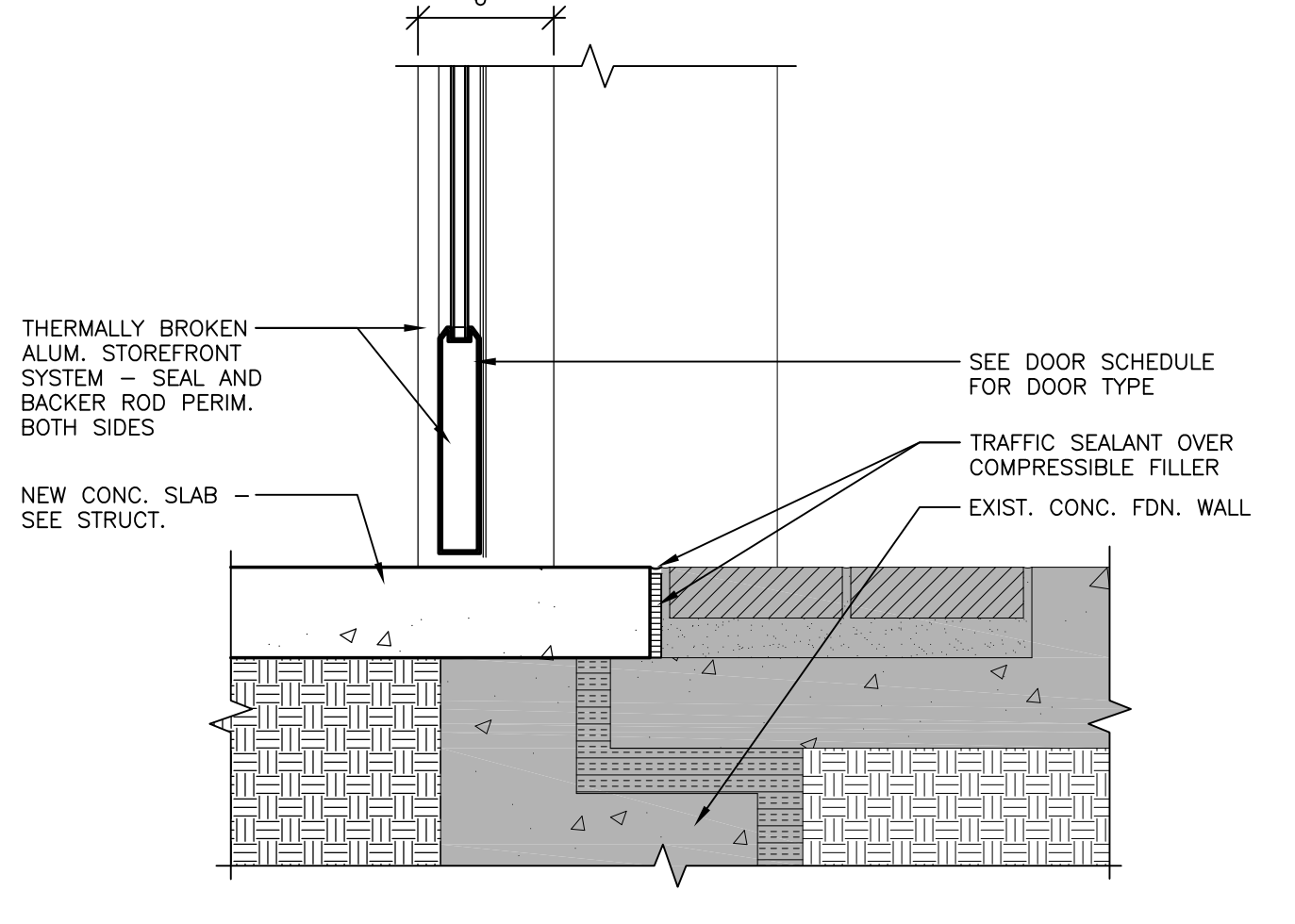
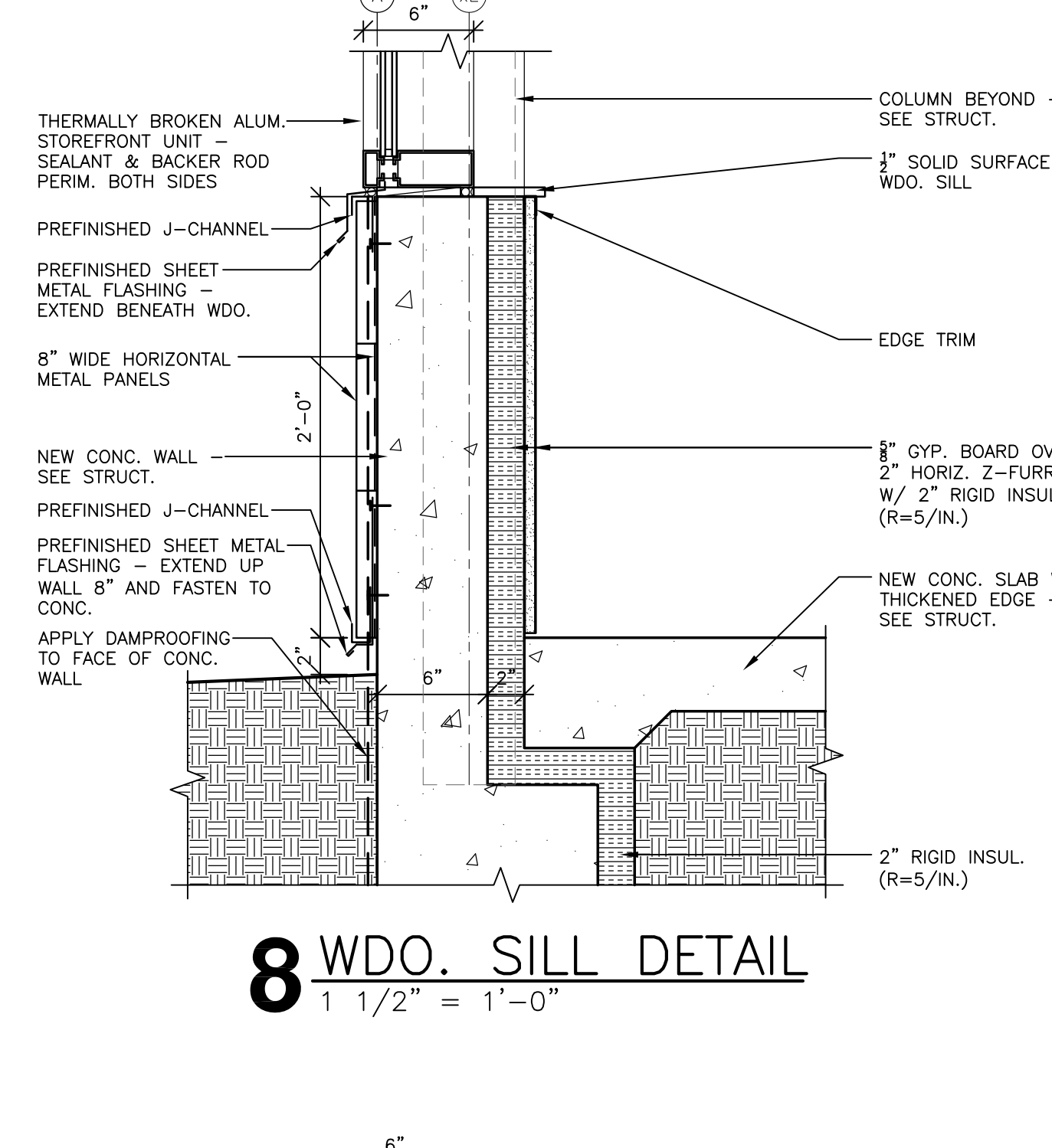
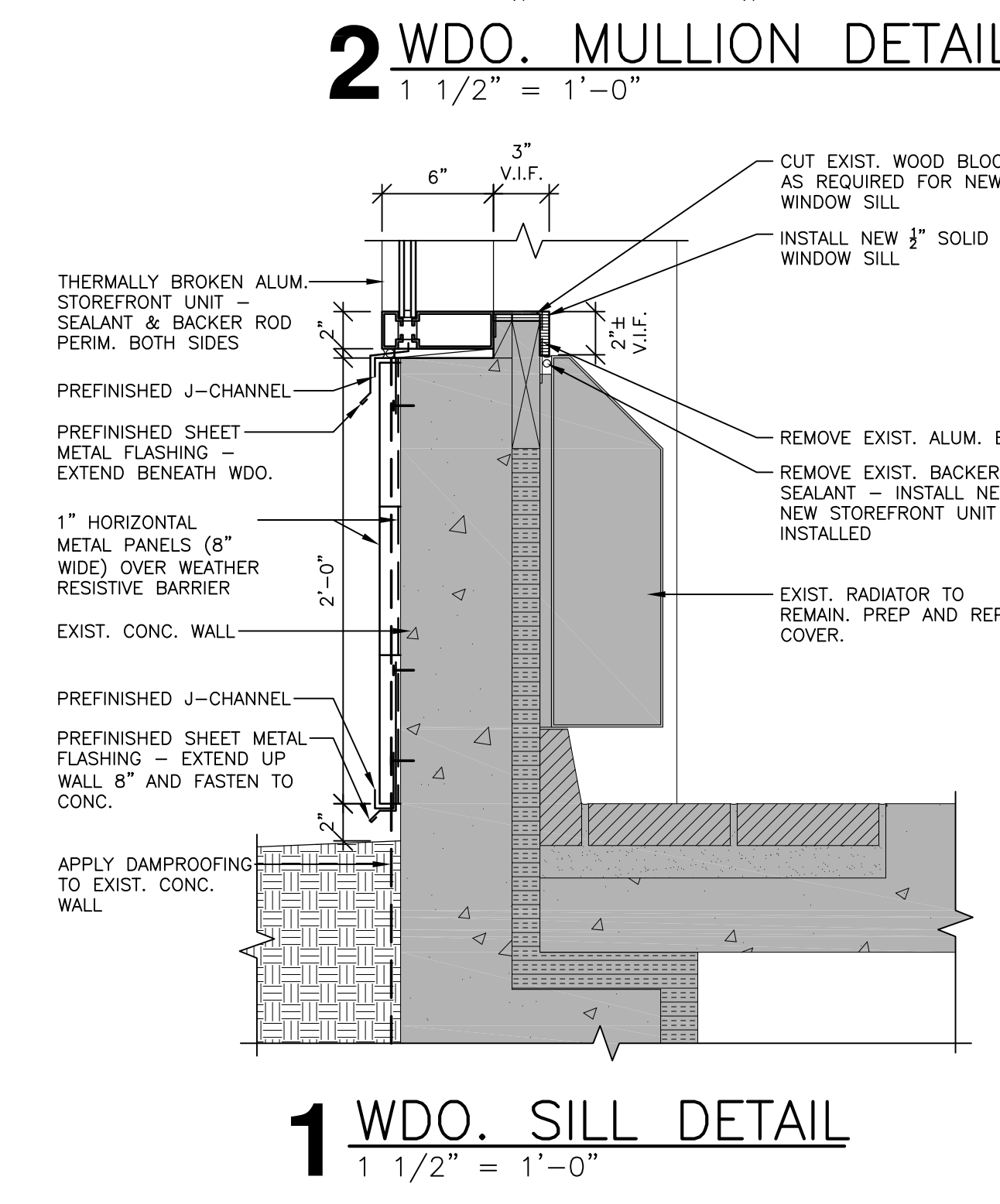
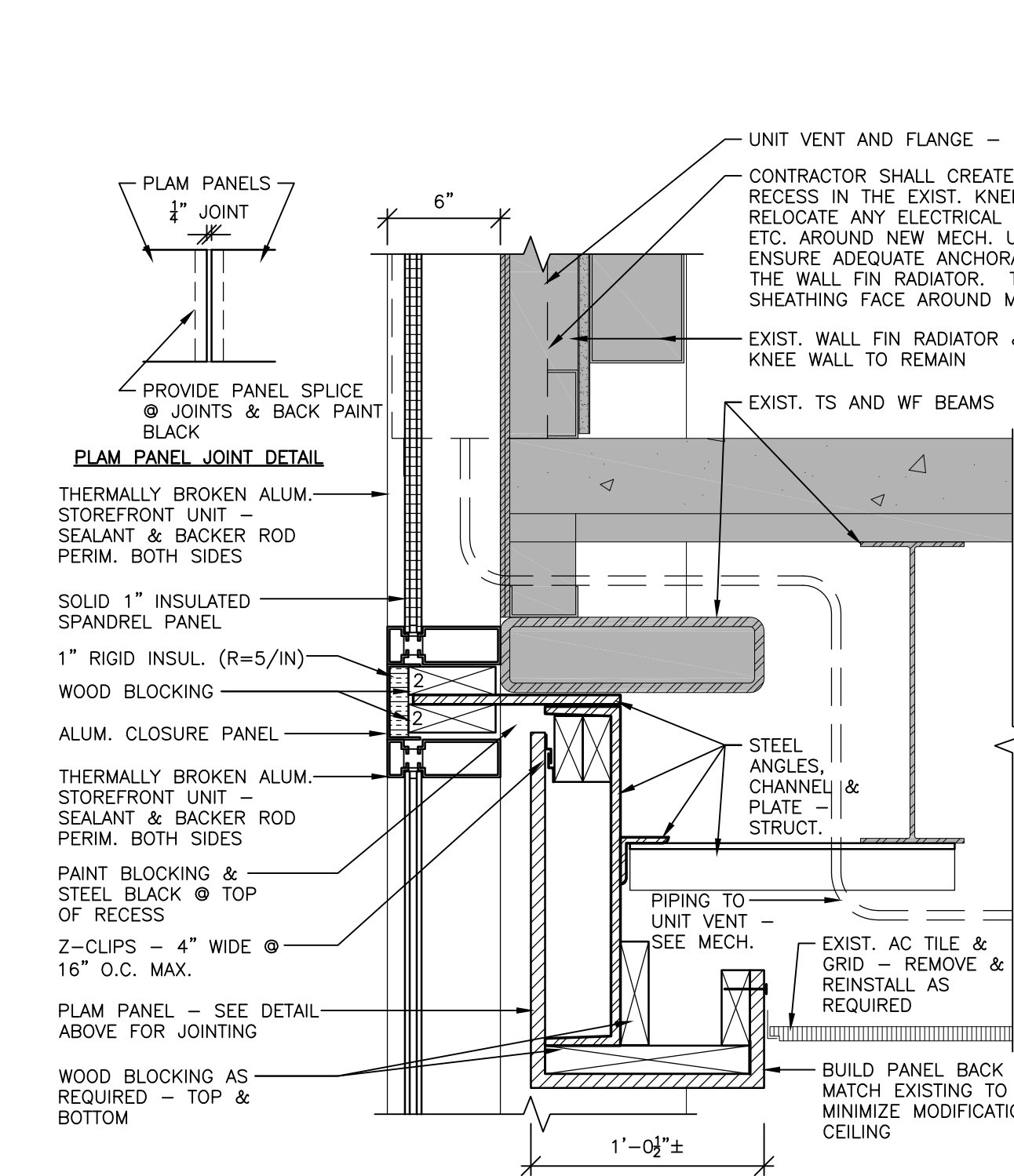
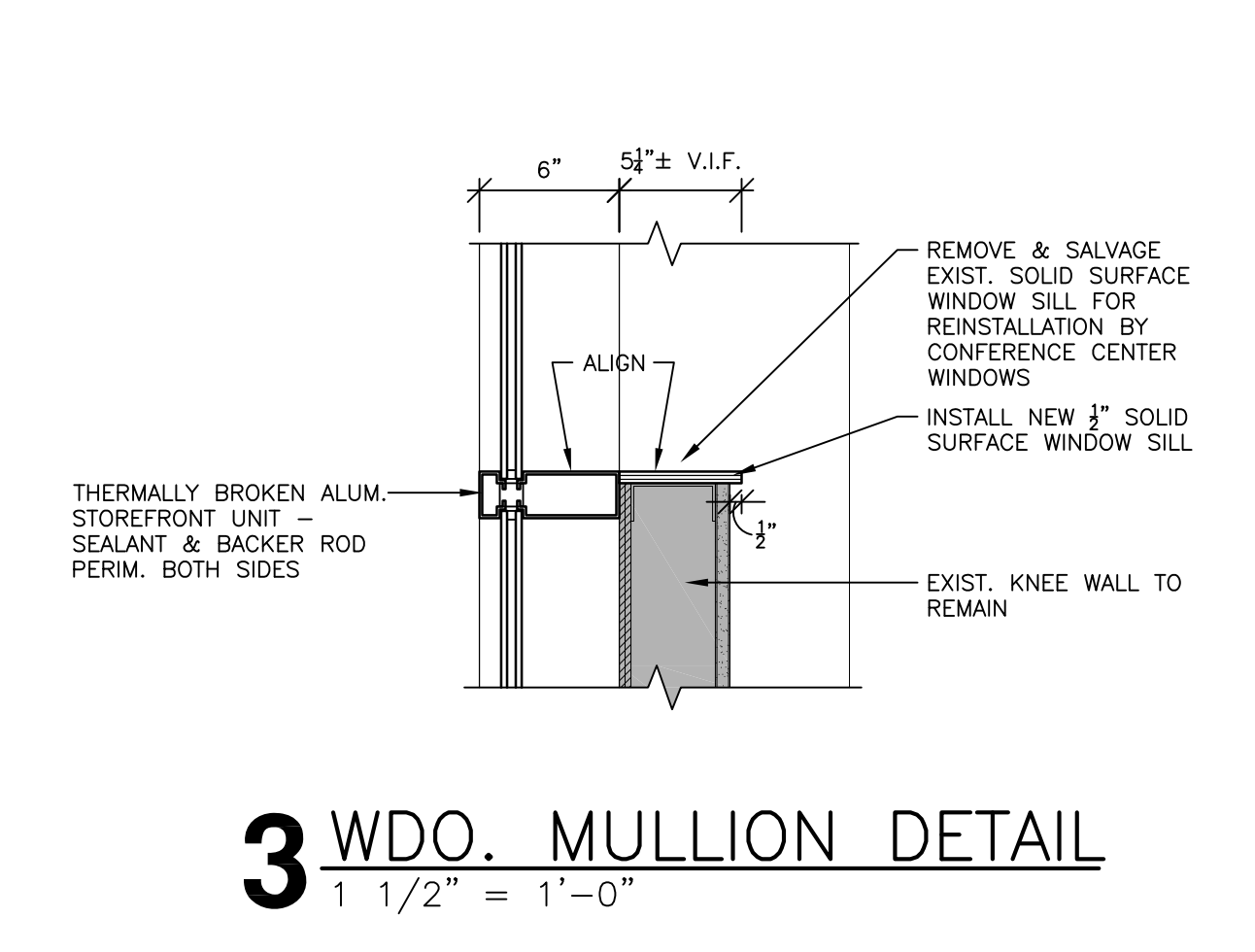
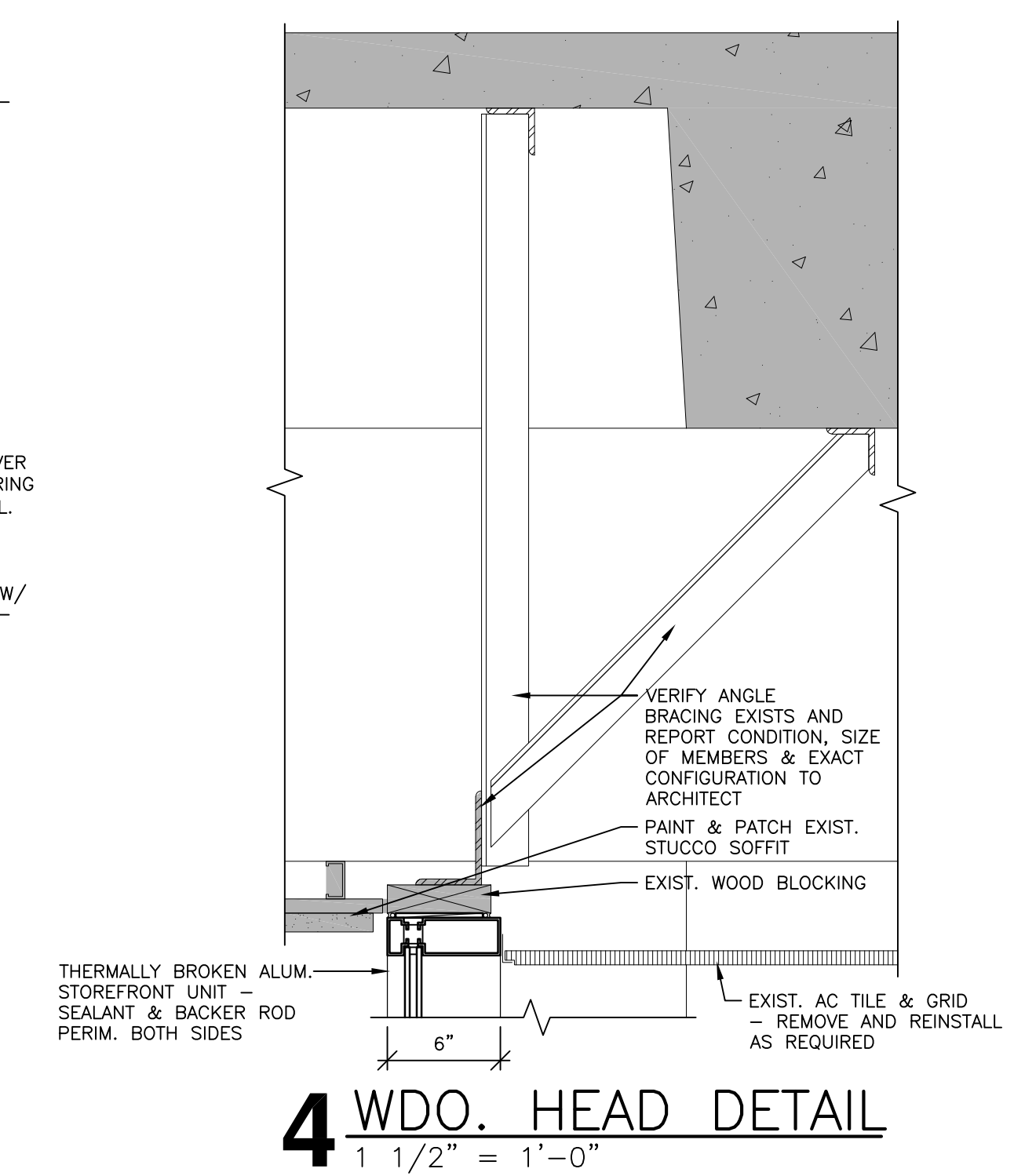
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Project Date:	MARCH 2018
Drawn By:	M.ZETTLER
Key Plan:	

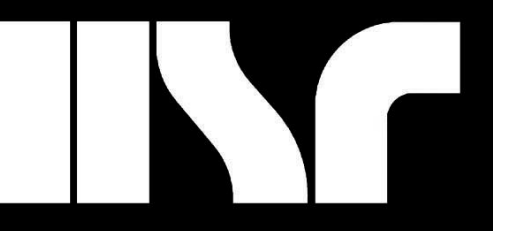
Revisions:		
No.	Description	Date
A1	ADDENDUM 1	03-27-18
A2	ADDENDUM 2	04-03-18

Graphic Scale:
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Last Update:
04/03/2018

A500R





Revisions:

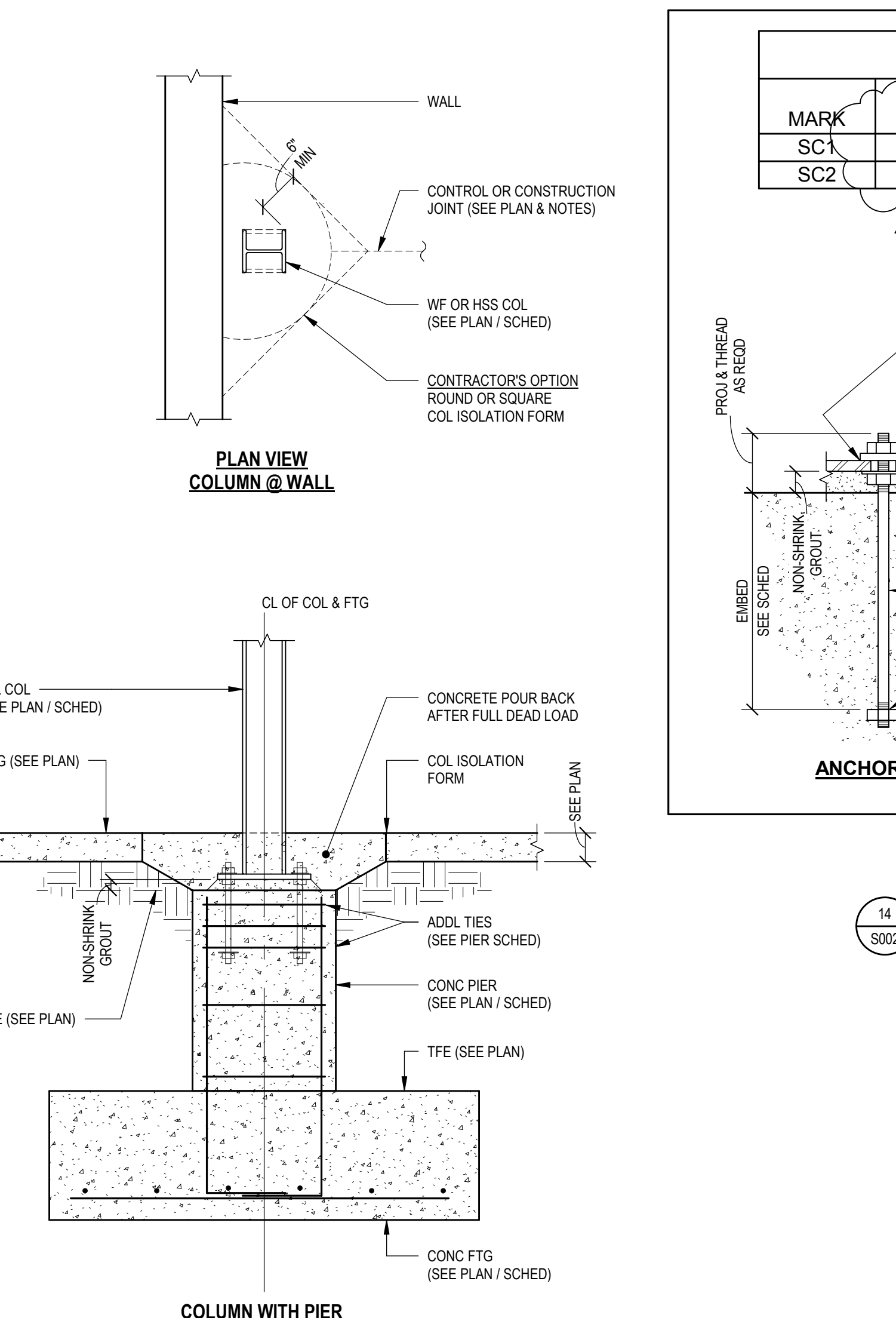
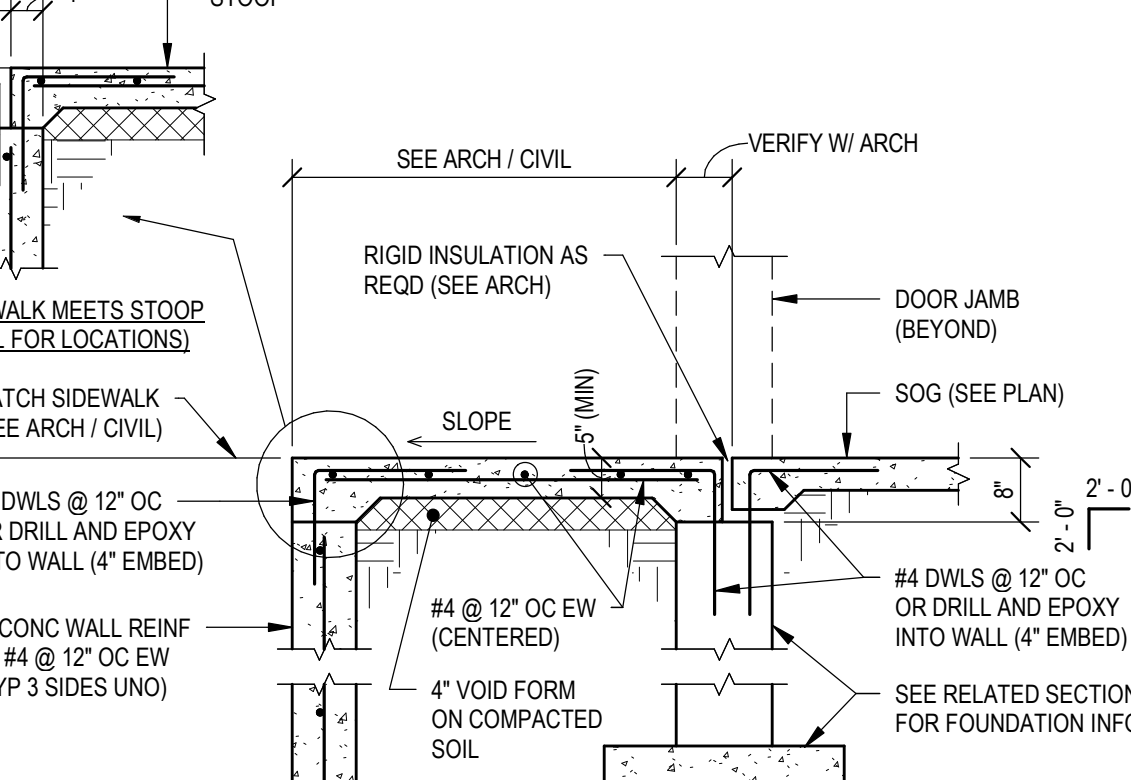
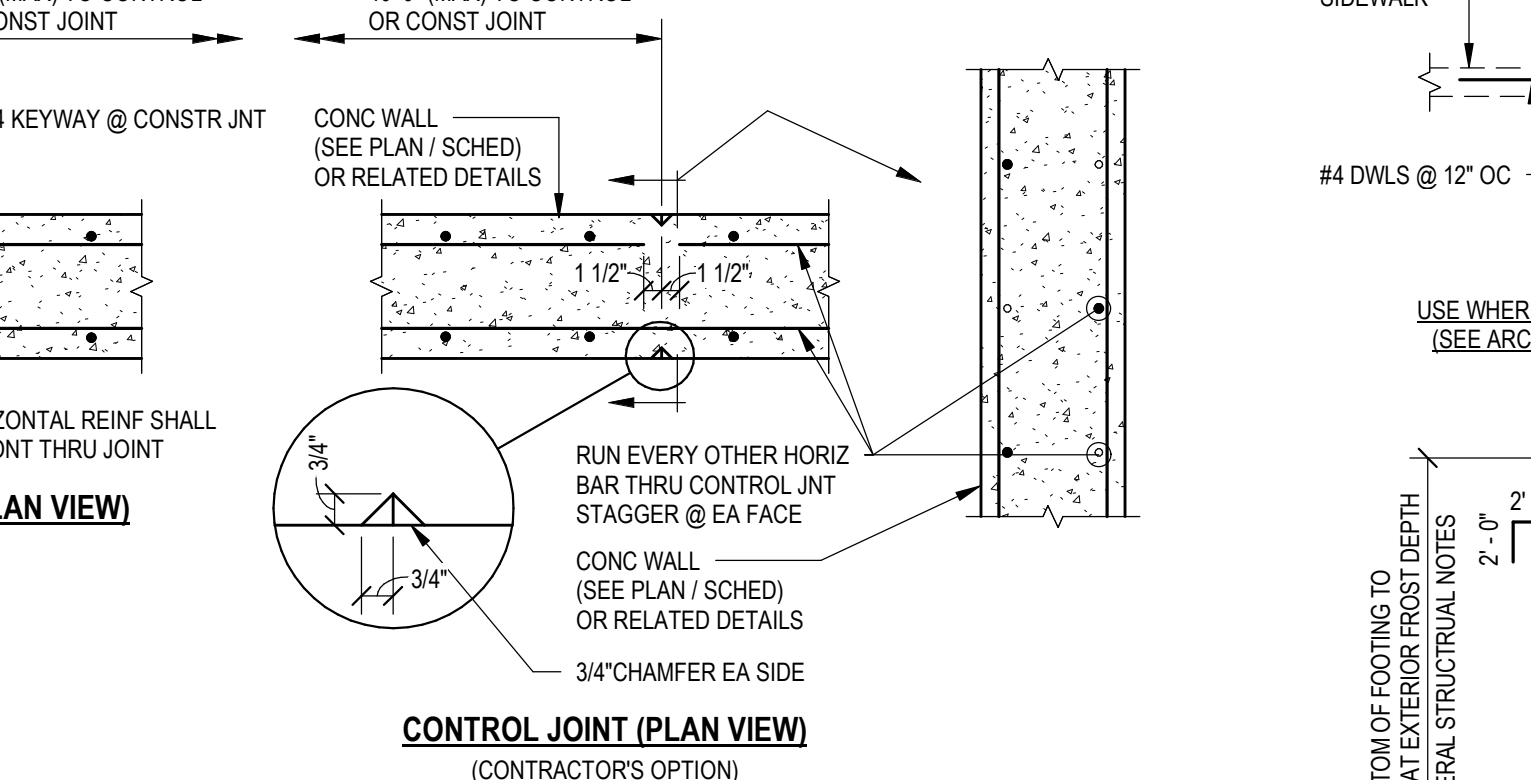
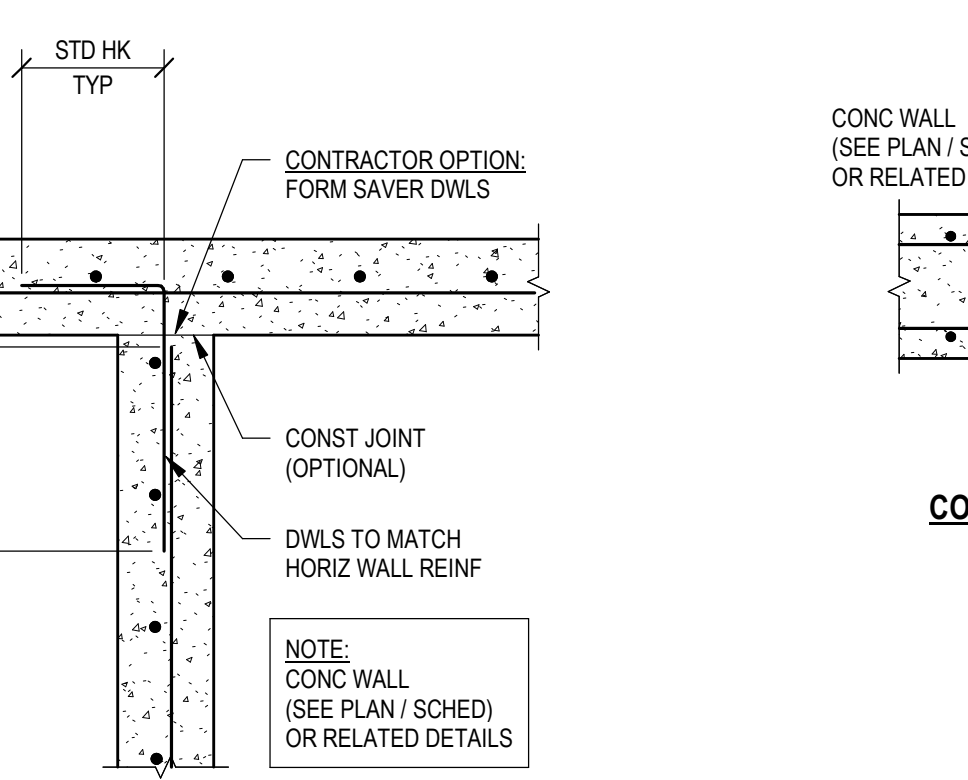
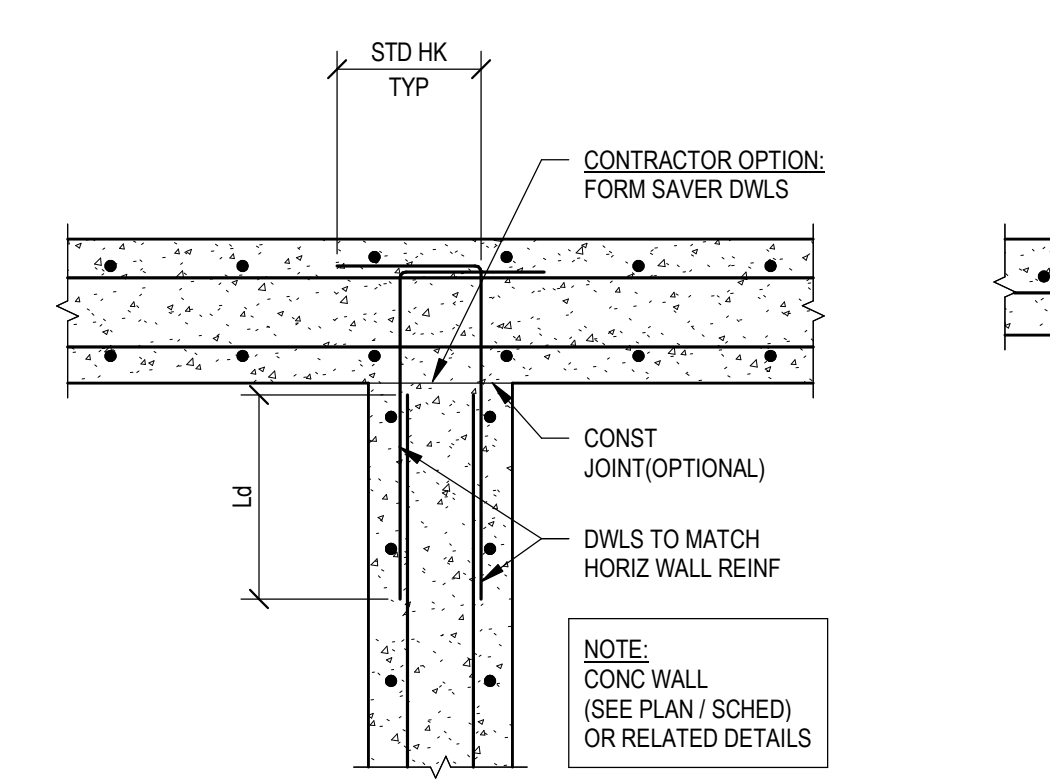
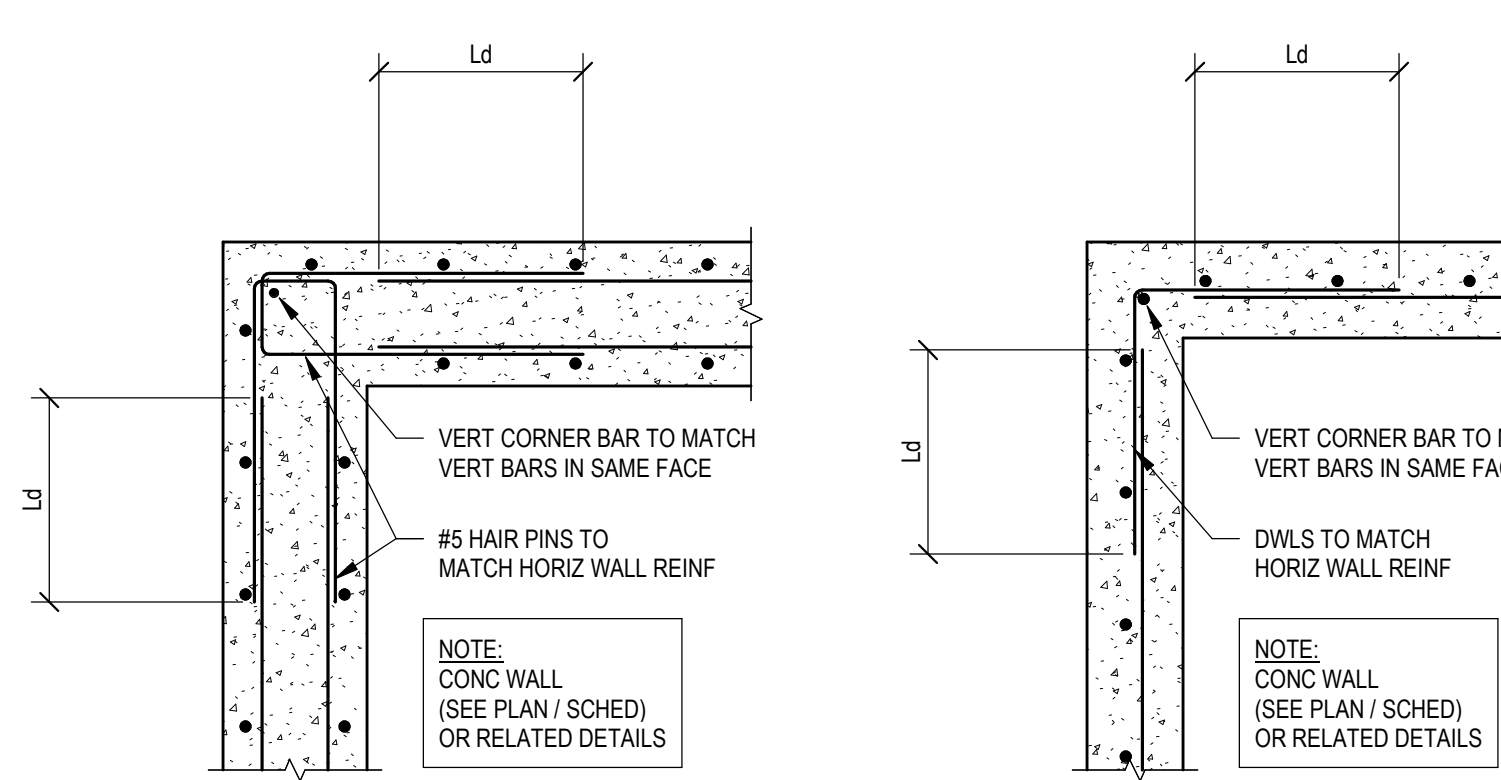
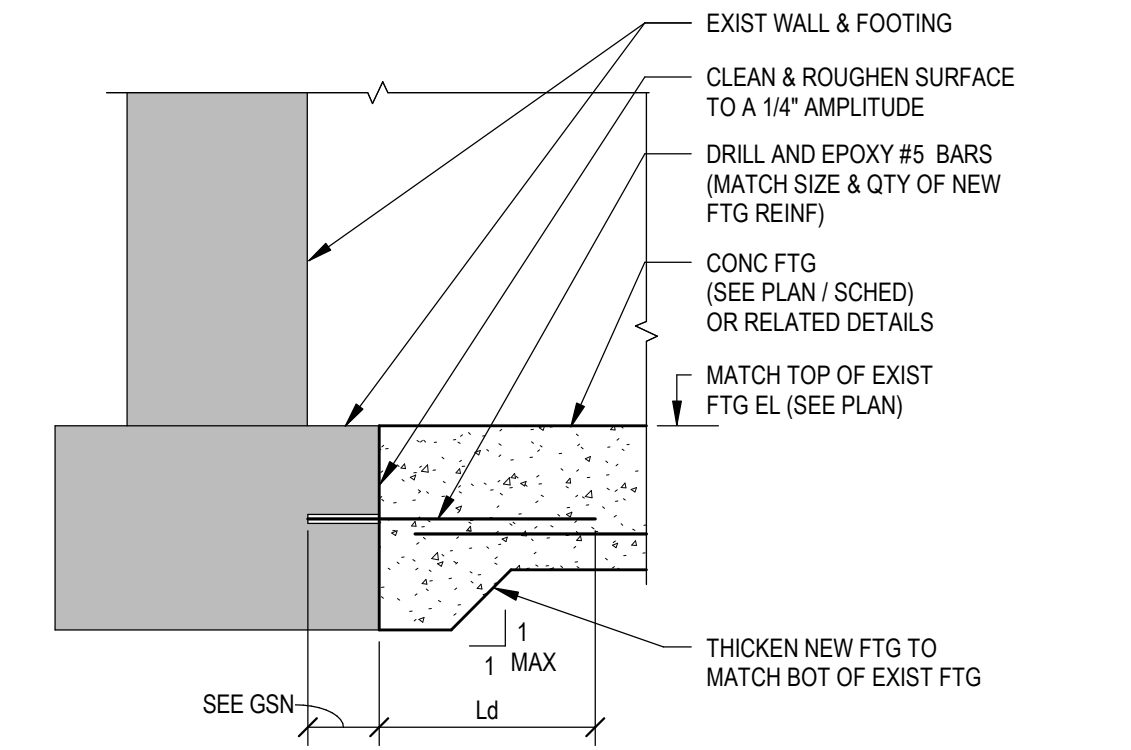
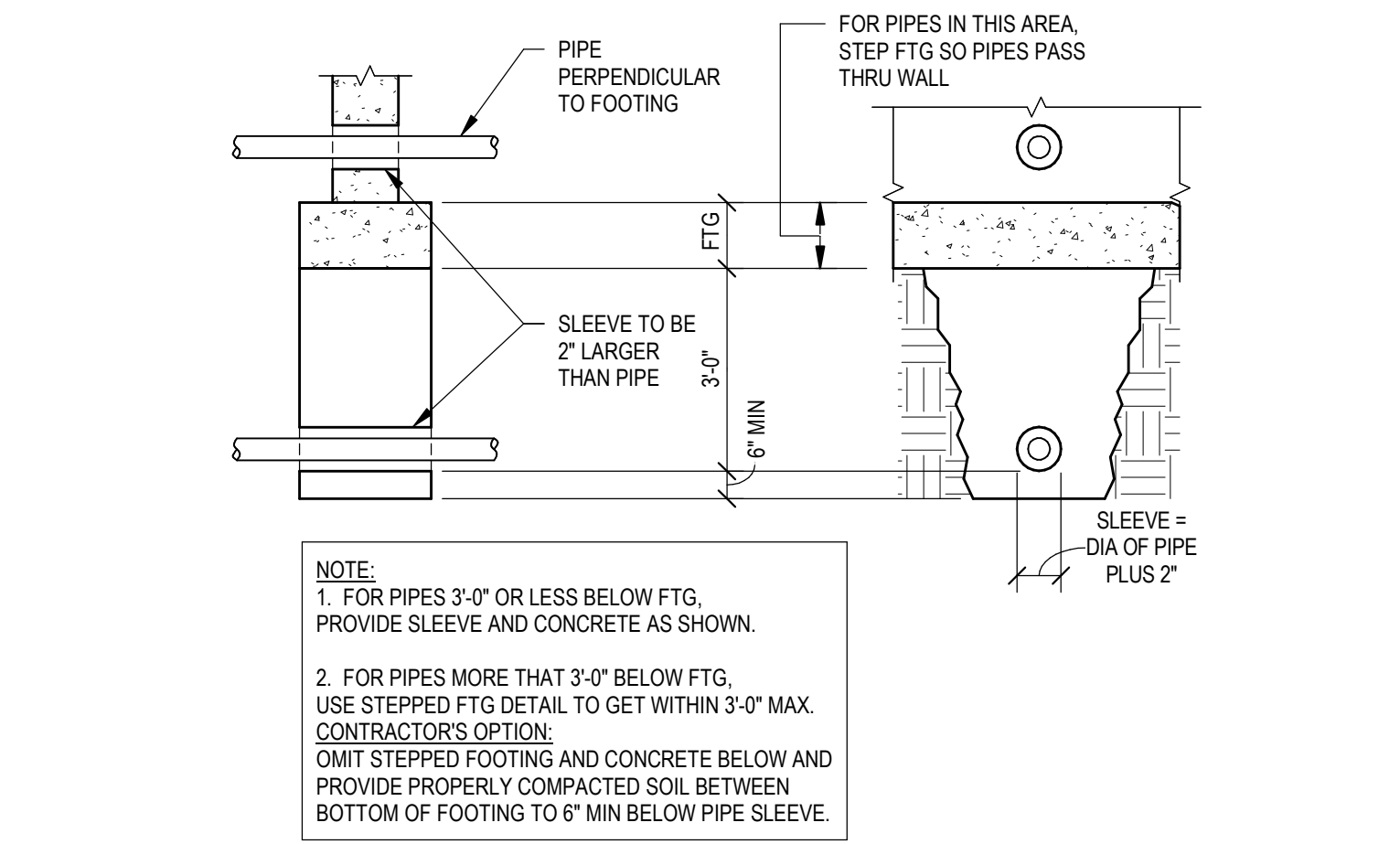
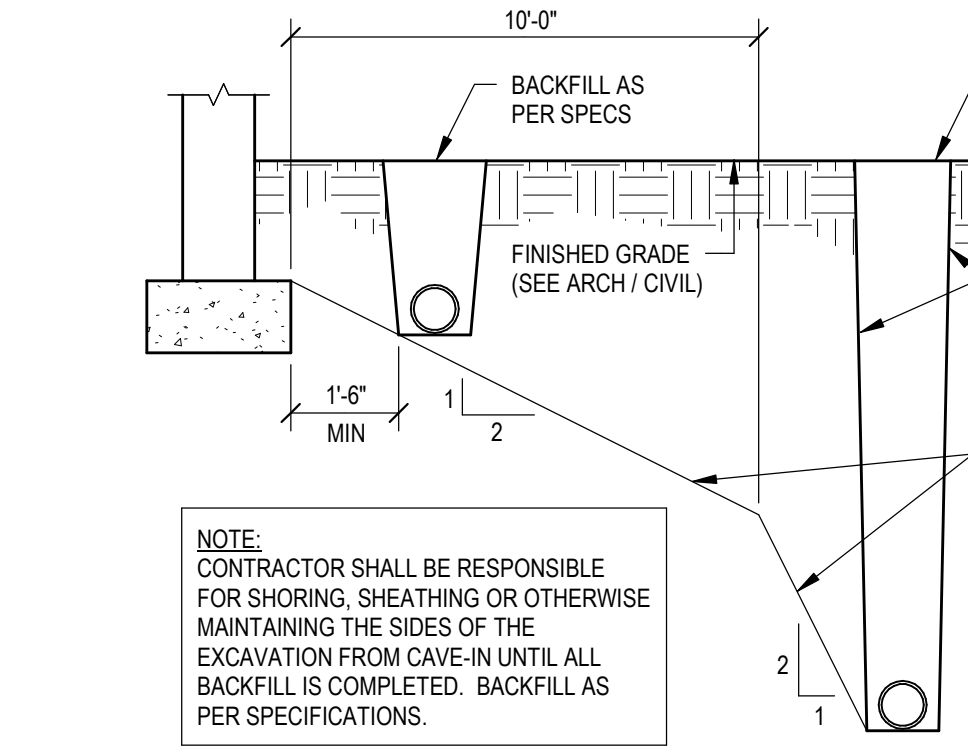
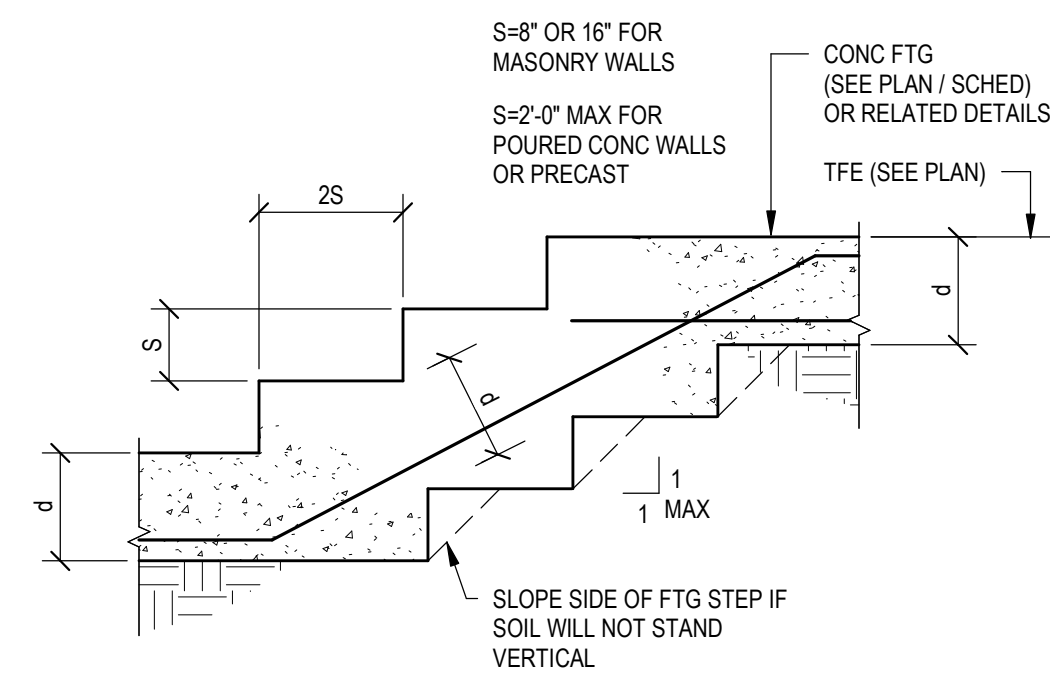
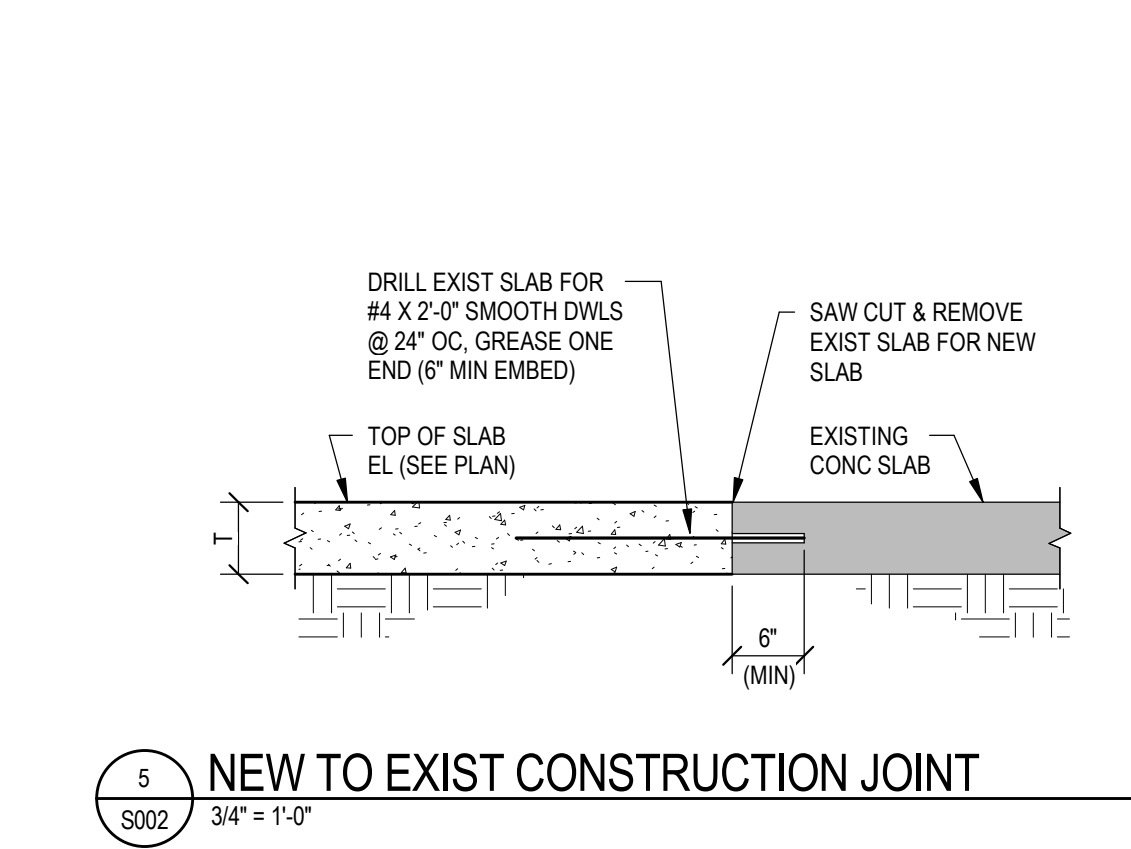
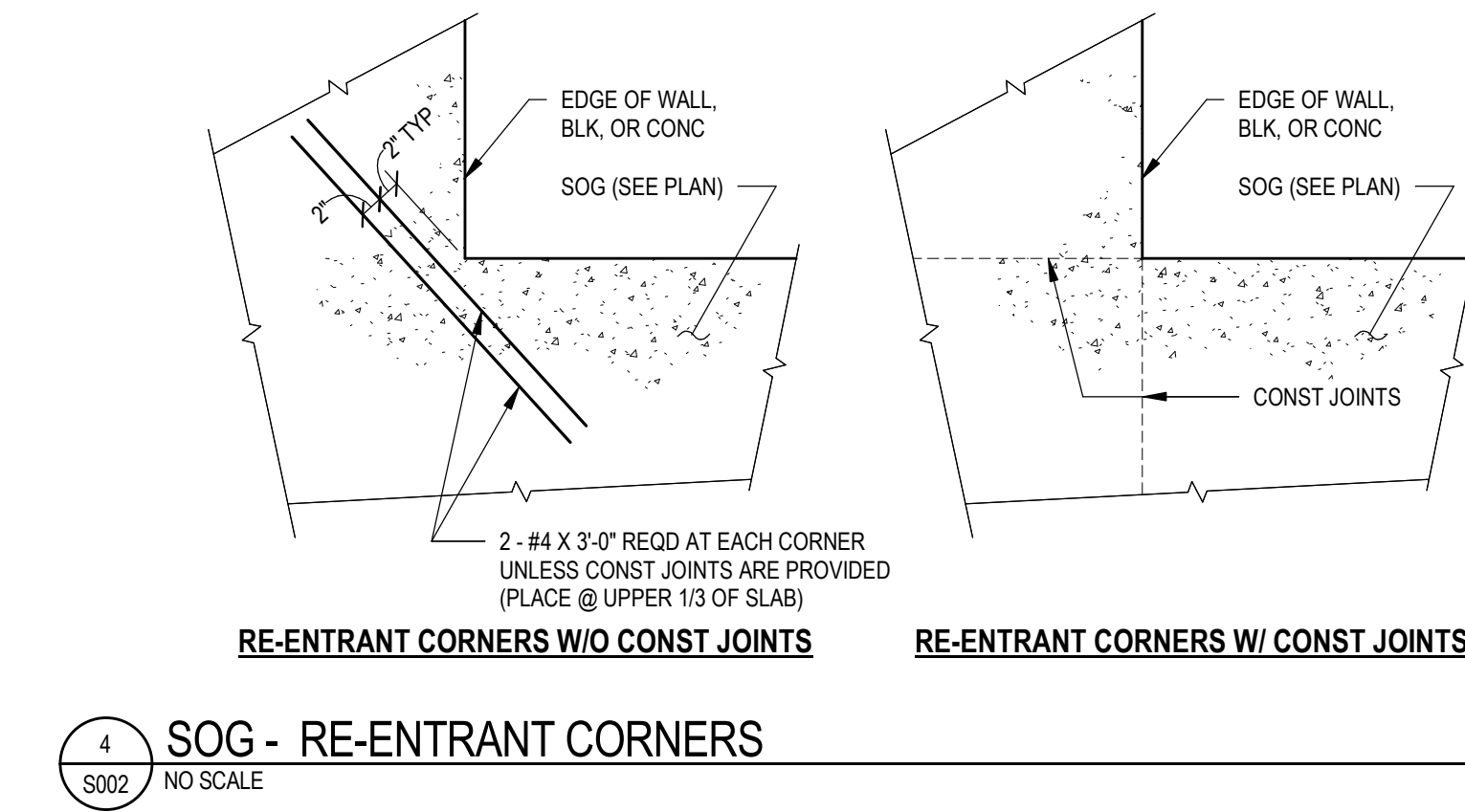
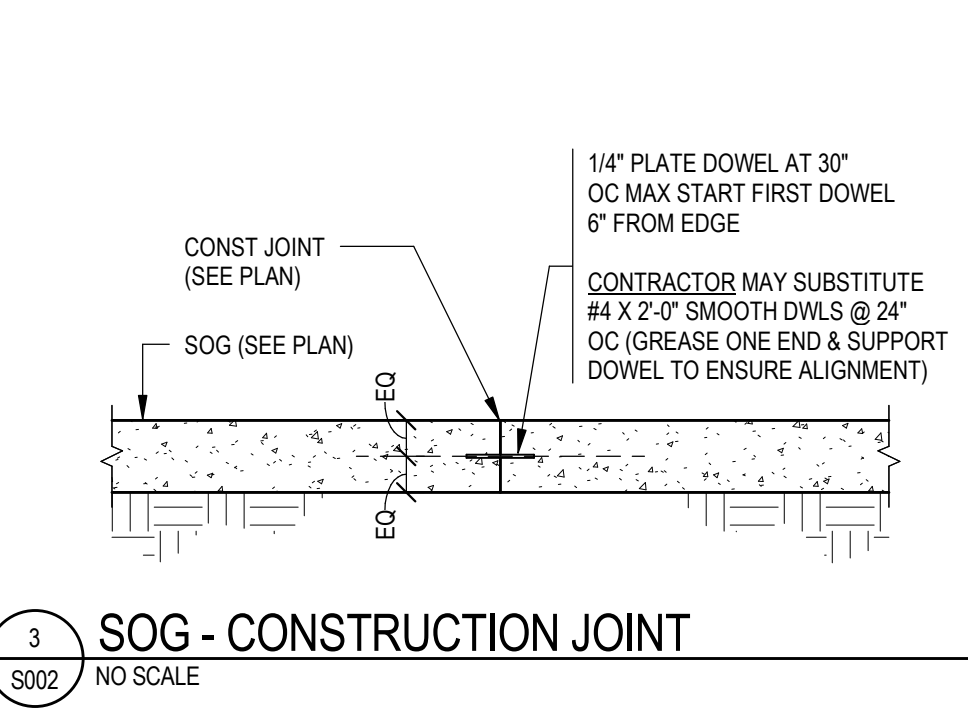
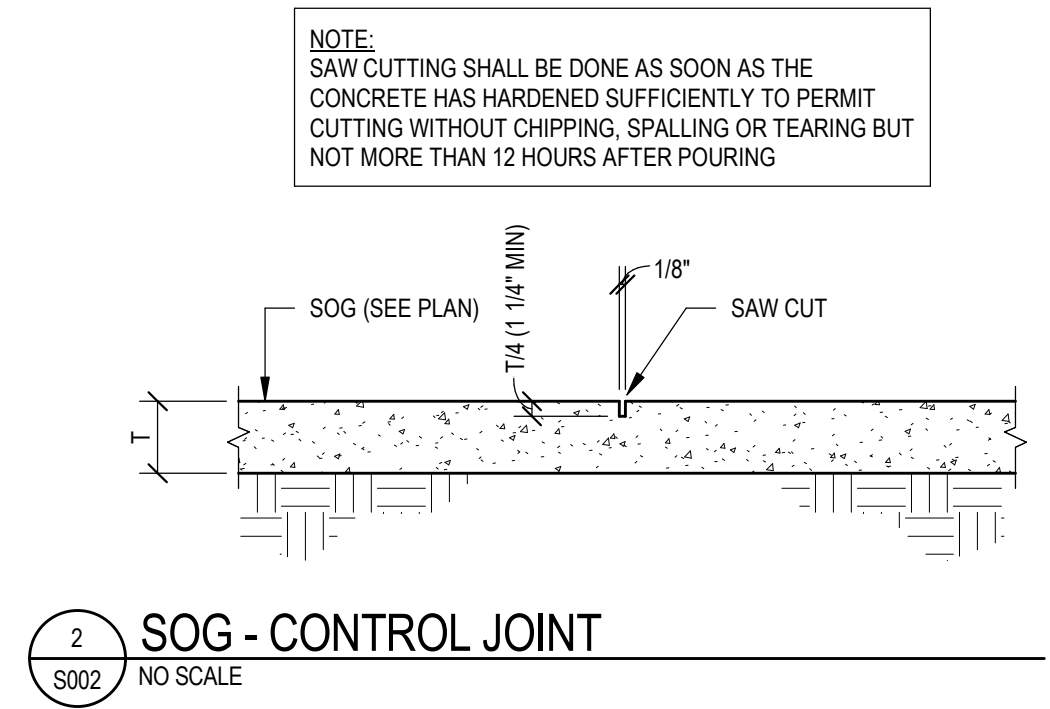
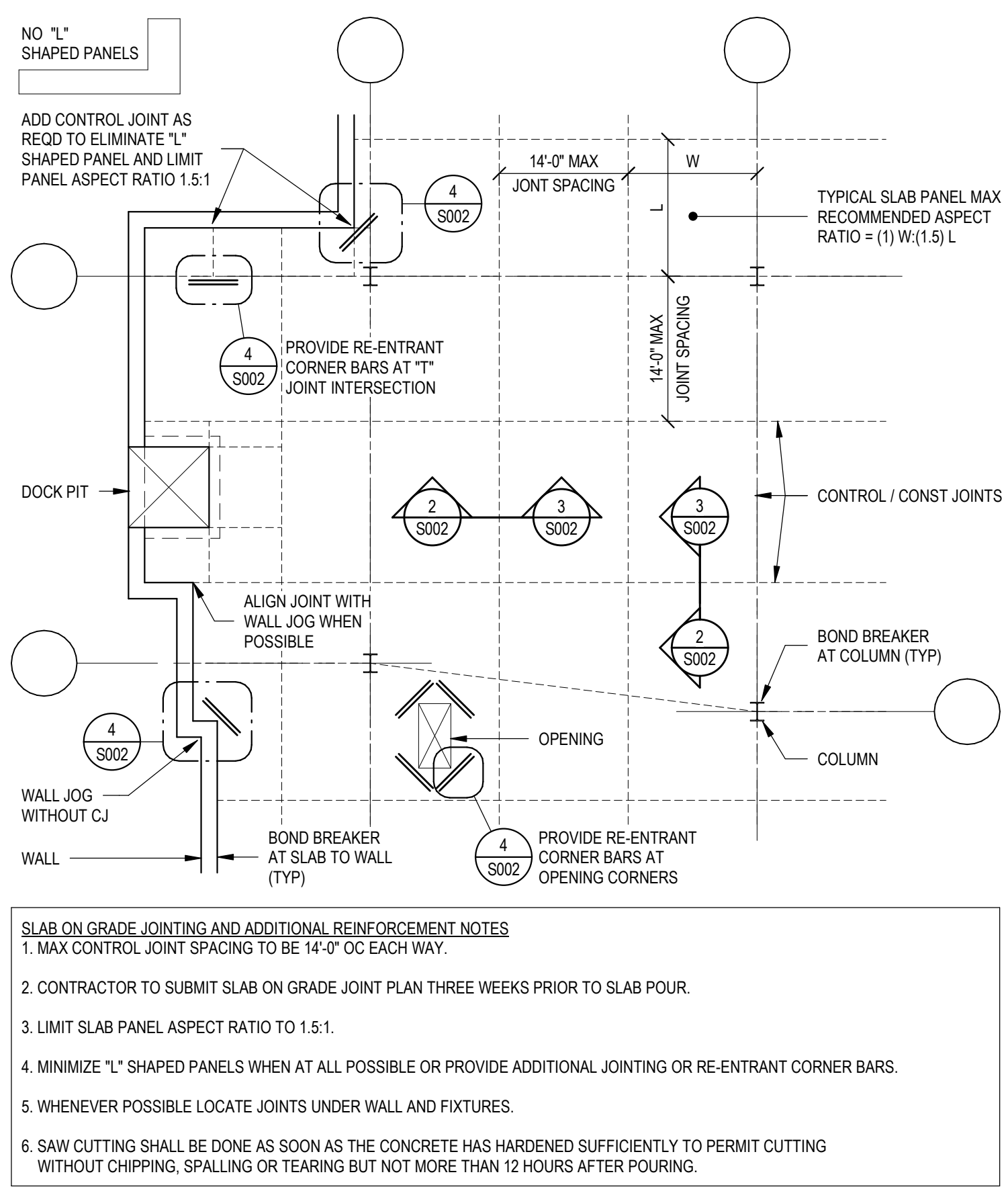
No.	Description	Date
A2	ADDENDUM 2	4-3-18

Graphic Scale:
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Revisions:

No.	Description	Date
A2	ADDENDUM 2	4-3-18



STEEL COLUMN SCHEDULE

MARK	SIZE	THICKNESS	WIDTH	LENGTH	TYPE	GROUT	QTY	DIA	EMBED	COMMENTS
SC1	W14 X 30 (FUTURE)	1 1/4"	1' - 4"	1' - 4"	2	2"	4	1"	1' - 4"	STAINLESS STEEL ANCHORS
SC2	HSS5 X 5 X 3/8	3/4"	1' - 2"	1' - 2"	1	1 1/2"	4	3/4"	8"	

CONCRETE PIER SCHEDULE

MARK	SIZE	LENGTH	VERTICAL	REINFORCEMENT	TIES	TYPE	COMMENTS
CP1	1' - 8"	1' - 8"	4-#6 VERTS	#4 @ 12" OC (3 @ 3" @ ANCHORS)	4S		
CP2	2' - 4"	2' - 4"	8-#6 VERTS	#4 @ 12" OC (5 @ 3" @ ANCHORS)	8C		

WALL FOOTING SCHEDULE

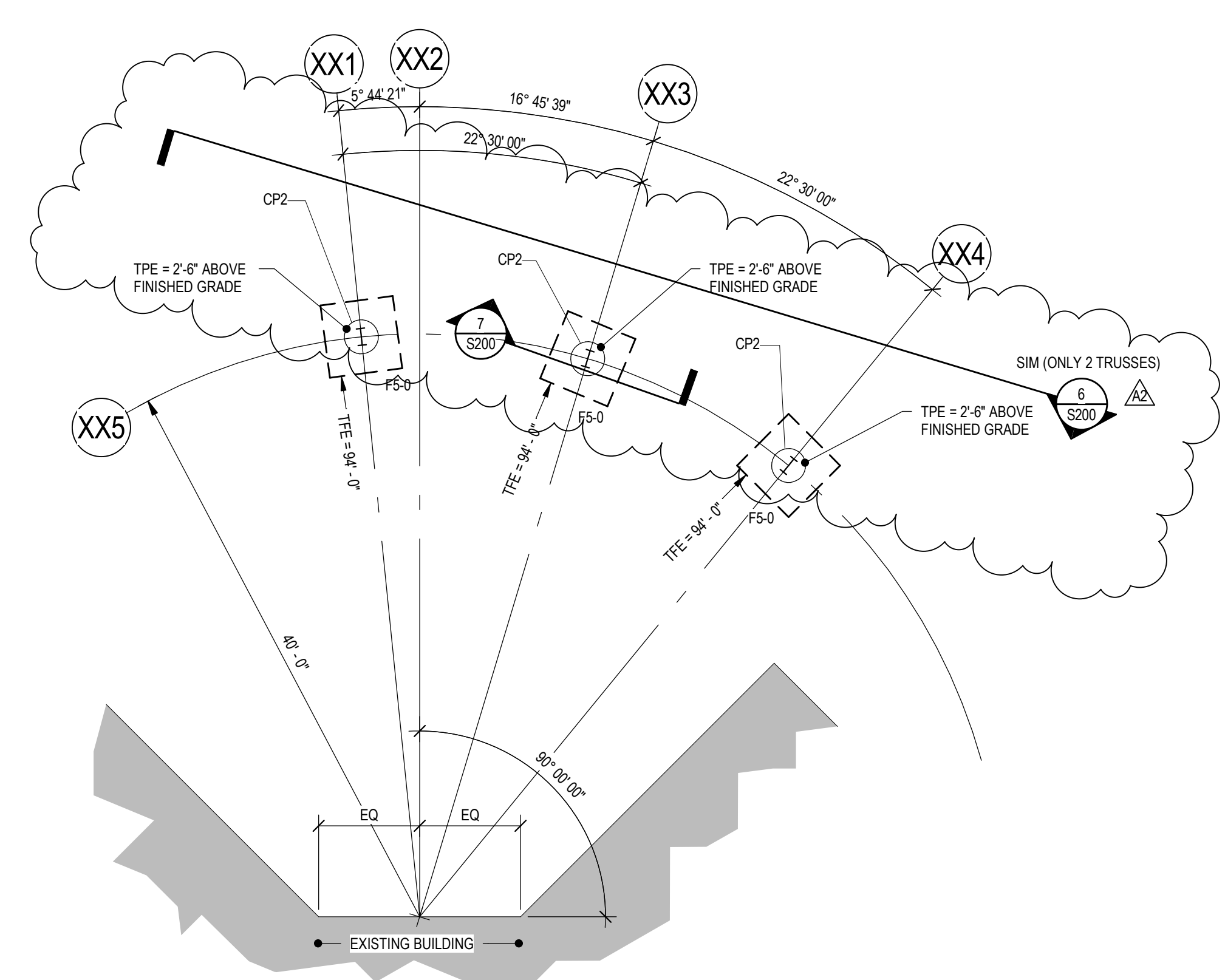
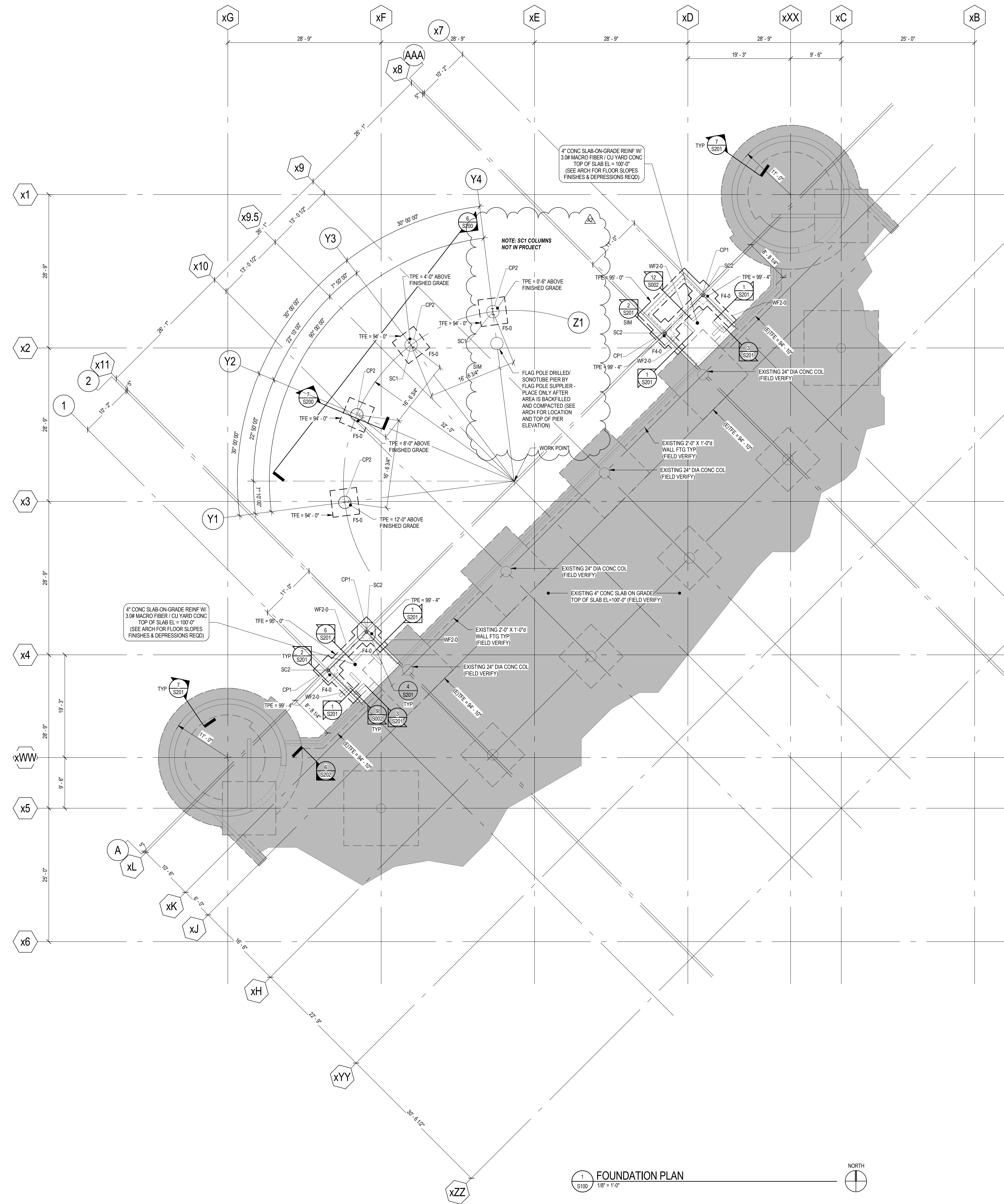
MARK	SIZE	THICKNESS	REINFORCEMENT	COMMENTS
WF2-0	2' - 0"	1' - 0"	2-#5 X CONT	

COLUMN FOOTING SCHEDULE

MARK	LENGTH	WIDTH	THICKNESS	REINFORCEMENT	COMMENTS
F4-0	4' - 0"	4' - 0"	1' - 0"	#5 @ 12" OC EW MAX BOT	
F5-0	5' - 0"	5' - 0"	1' - 2"	6-#5 EW BOT	

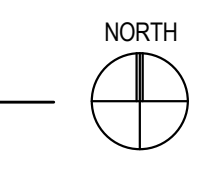
FOUNDATION PLAN SHEET NOTES

- A. General**
- See Cover Sheet for structural sheet index defining sheet name, sheet number and issue status.
 - See Cover Sheet for Structural Abbreviations, Typical Marks & Symbols and Plan Legends.
 - Review General Structural Notes and typical details in conjunction with applicable plans. See sheet index on Cover sheet.
 - Coordinate stoop sizes and locations with Architectural and Civil. See typical details for stoop construction.
 - If present, coordinate the sizes and locations of tunnels, electrical cells, pits, pipes, floor drains, trenches and floor recesses with Architectural, Structural, Mechanical, Civil, and Electrical drawings.
 - Frost protection is required for all foundations if winter conditions are present.
 - Dimensions shown with +/- indicate dimensions that have been rounded to the nearest 1/16 of an inch.
- B. Footings**
- *F-* denotes footing mark. See schedule for size and reinforcing.
WF- denotes wall footing mark. See schedule for size and reinforcing.
 - Top of footing elevation (TFE) is shown on plan. See typical detail sheets for stepped footing detail.
 - Locations of footing steps on plan are approximate. Contractor shall verify all step locations with Civil grade elevations to maintain minimum frost depths and all Mechanical, Electrical and Plumbing pipe elevations prior to pouring footings. Coordinate footing step locations with precaster if applicable. See typical detail sheets for pipes perpendicular and parallel to footing.
 - All footings shall be centered below walls, columns and piers unless dimensioned otherwise.
 - Provide dowels to walls, columns and piers above. Hooked dowels shall be tied to footing reinforcing prior to pouring concrete.
- C. Slab On Grade**
- Top of slab elevation (TOSL) is shown on plan.
 - See Architectural drawings for depressions, slab slopes, finishes and drains.
 - Concrete slab thickness shall be as noted on plan. See Architectural drawings for vapor barrier requirements and geotech report for slab sub-base thickness and material specification.
 - Unless noted otherwise, reinforce slab with 3.0 pounds of macro fiber per cubic yard of concrete. Coordinate finishing requirements with owner. Contractor may substitute 6 x 6 - W1.4 x W1.4 WWF chaired in place 1" below top of slab in lieu of macro fiber.
 - Provide control joints (CJ) and construction joints (CONJ) in slab. See typical foundation details.
 - Concrete Contractor shall submit location of slab construction joints for review three weeks minimum prior to slab pour.
- D. Steel Columns**
- *SC-* denotes steel column mark. See column schedule for size, base plate and anchor bolt information.
 - All steel columns shall be centered on grid intersections unless dimensioned otherwise on plan.
 - Steel columns, base plates, and anchor bolts below grade exposed to soil shall be coated with two heavy coats of bitumastic paint.
- E. Concrete Walls**
- See details for wall reinforcement.
 - See typical details for concrete wall construction joint spacing requirements.
 - Coordinate all exterior wall finish ledge elevations for brick, stone, etc. with architectural drawings.



3 PARTIAL FOUNDATION PLAN
S100 1/8" = 1'-0"

1 FOUNDATION PLAN
S100 1/8" = 1'-0"



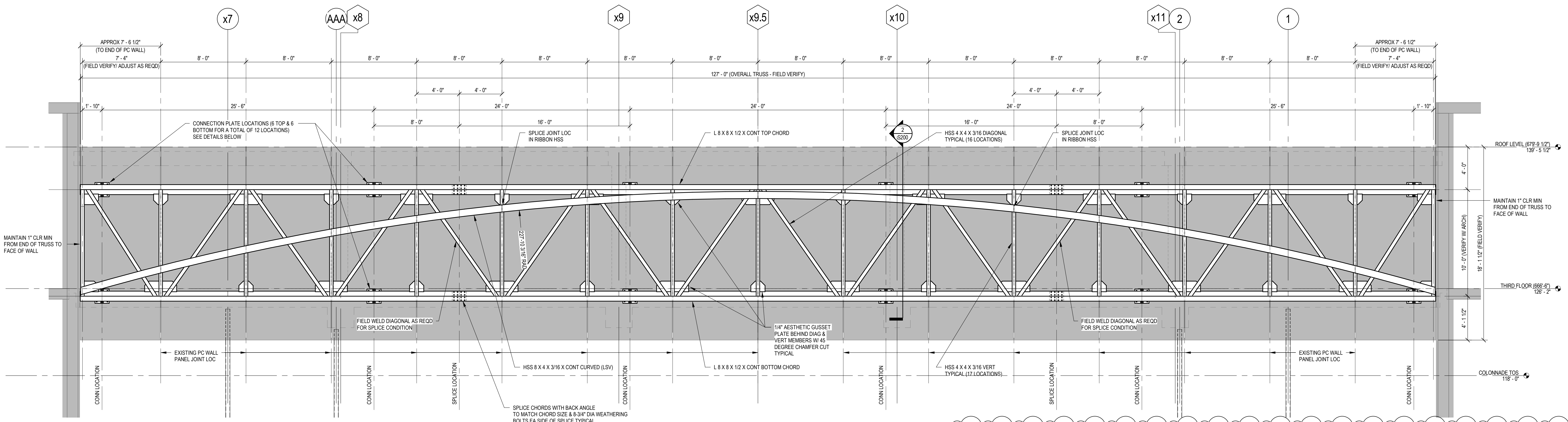
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No.	Description	Date
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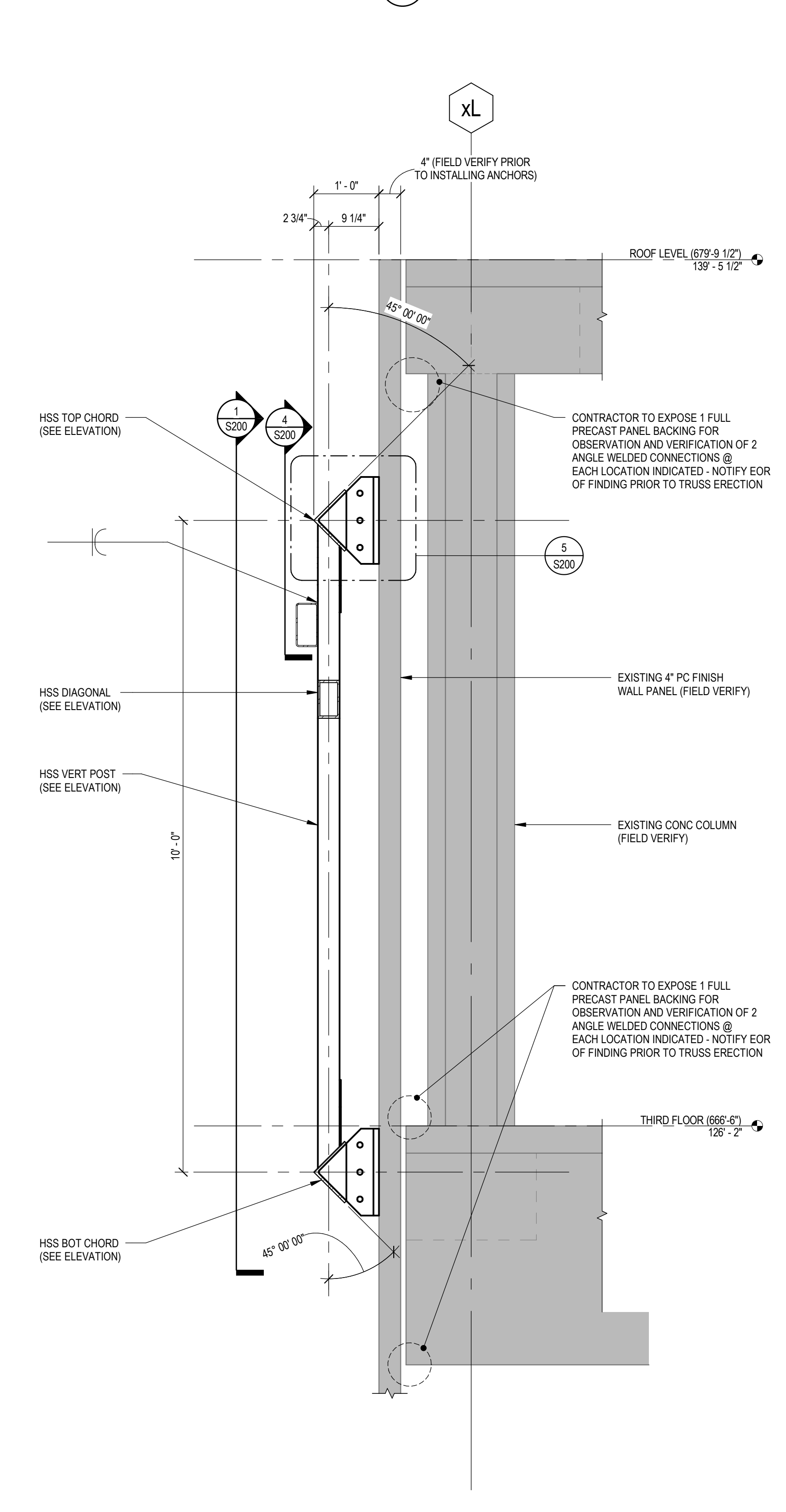
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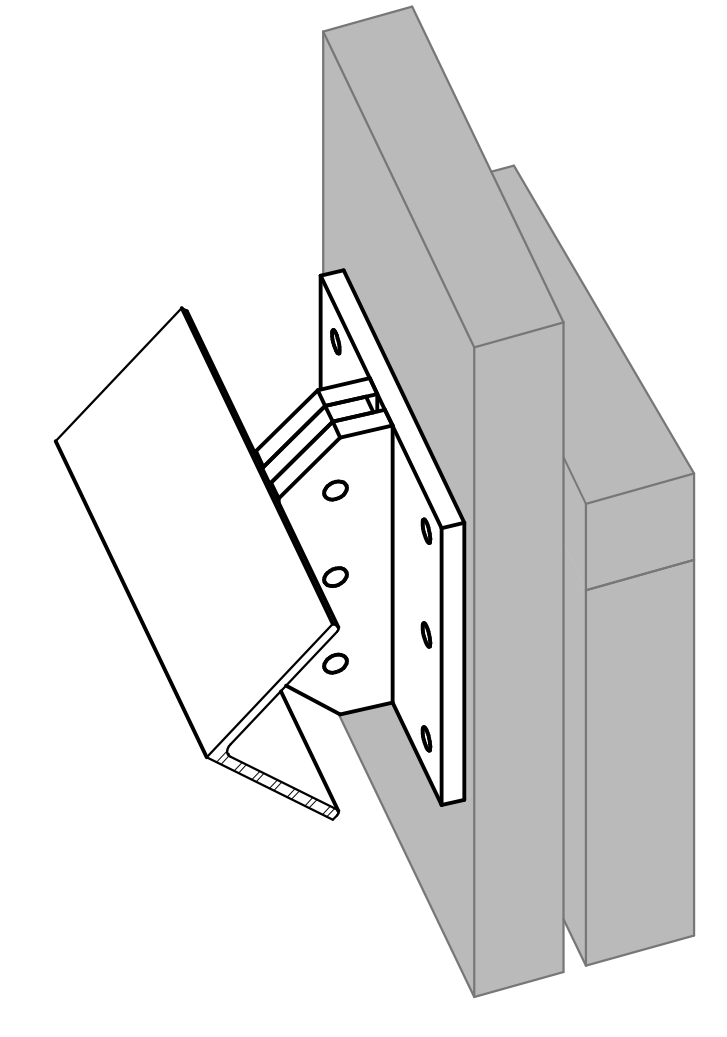
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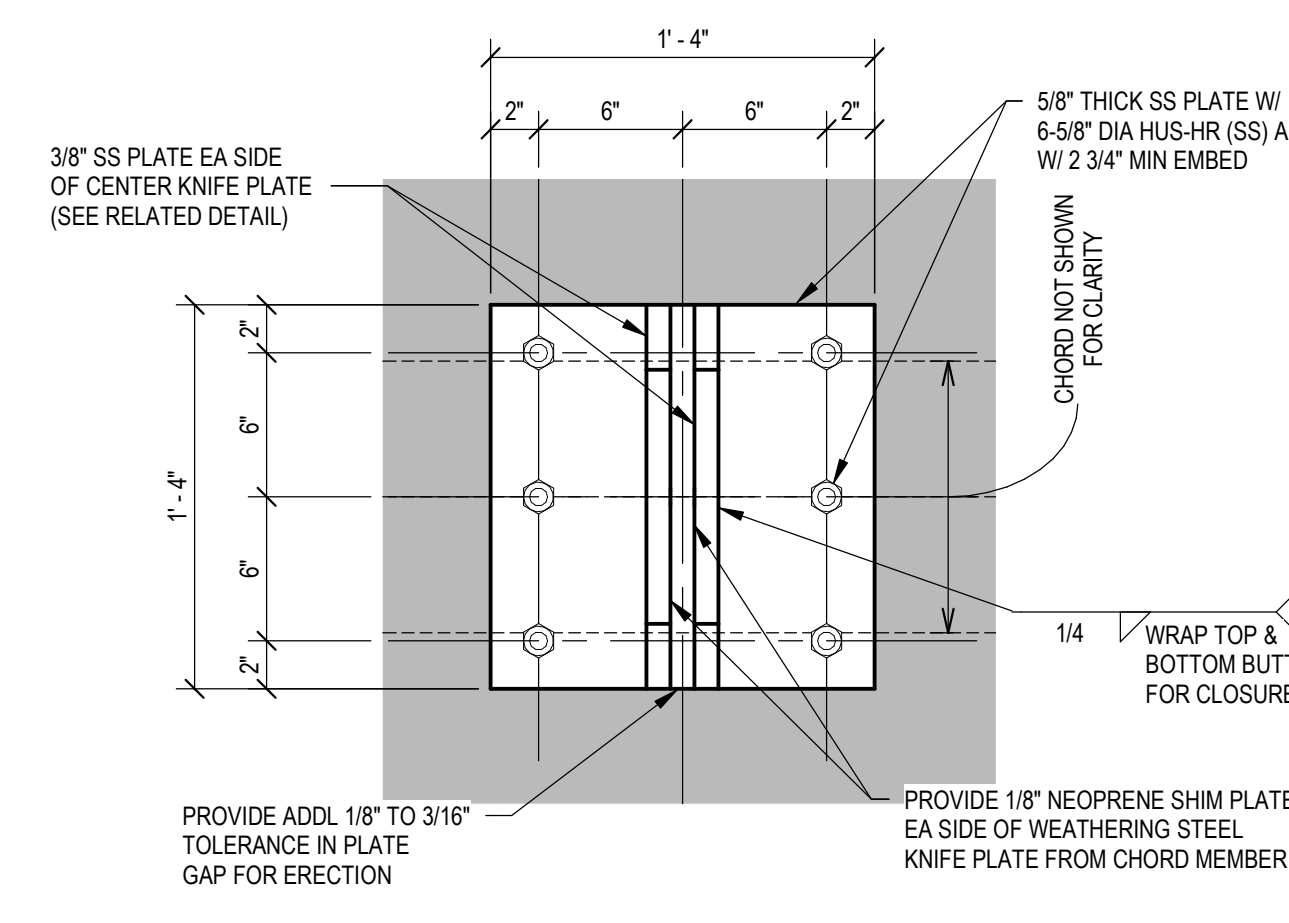
1 ACCENT TRUSS ELEVATION
S200 1/4" = 1'-0"



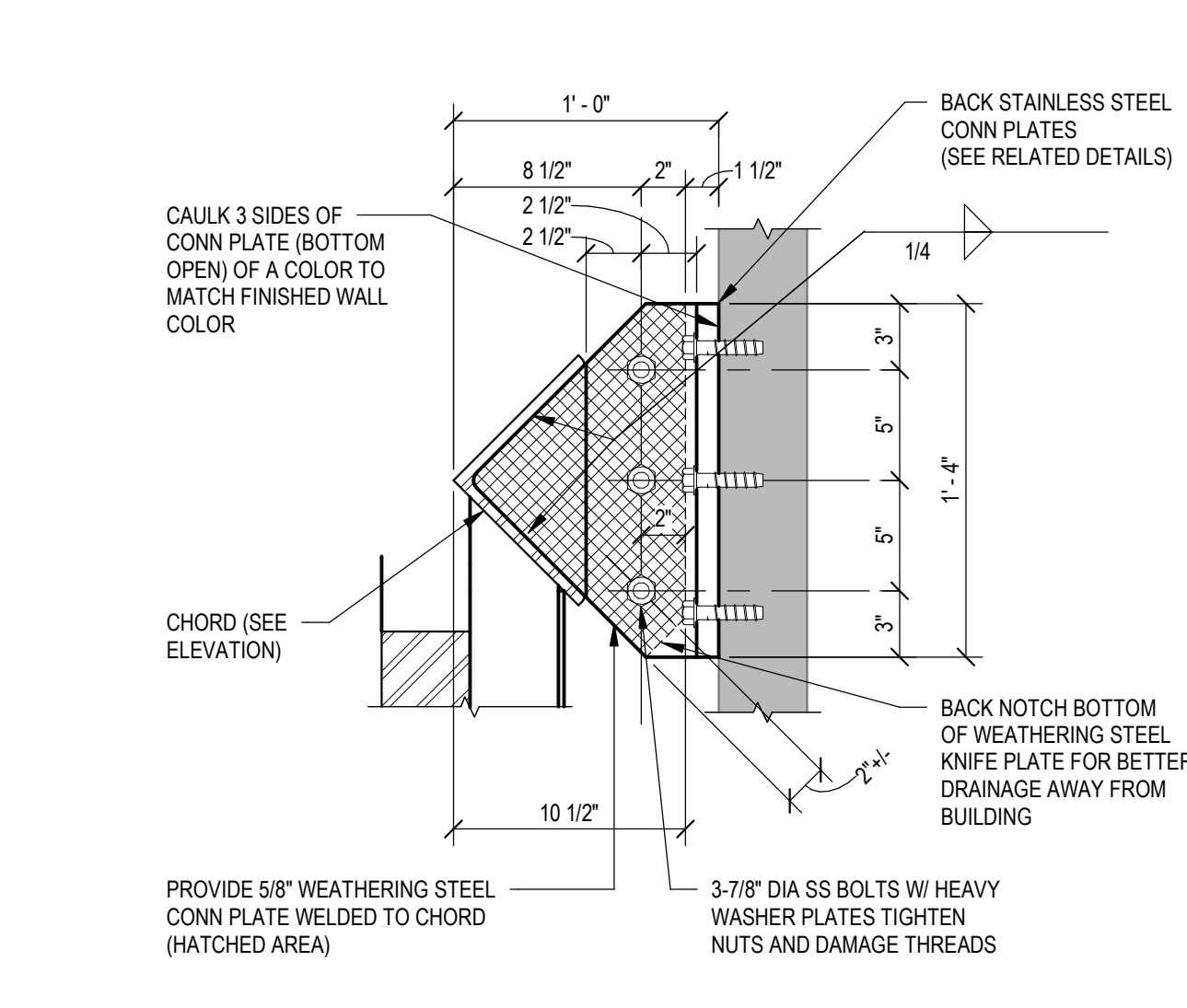
2 SECTION/DETAIL
S200 3/4" = 1'-0"



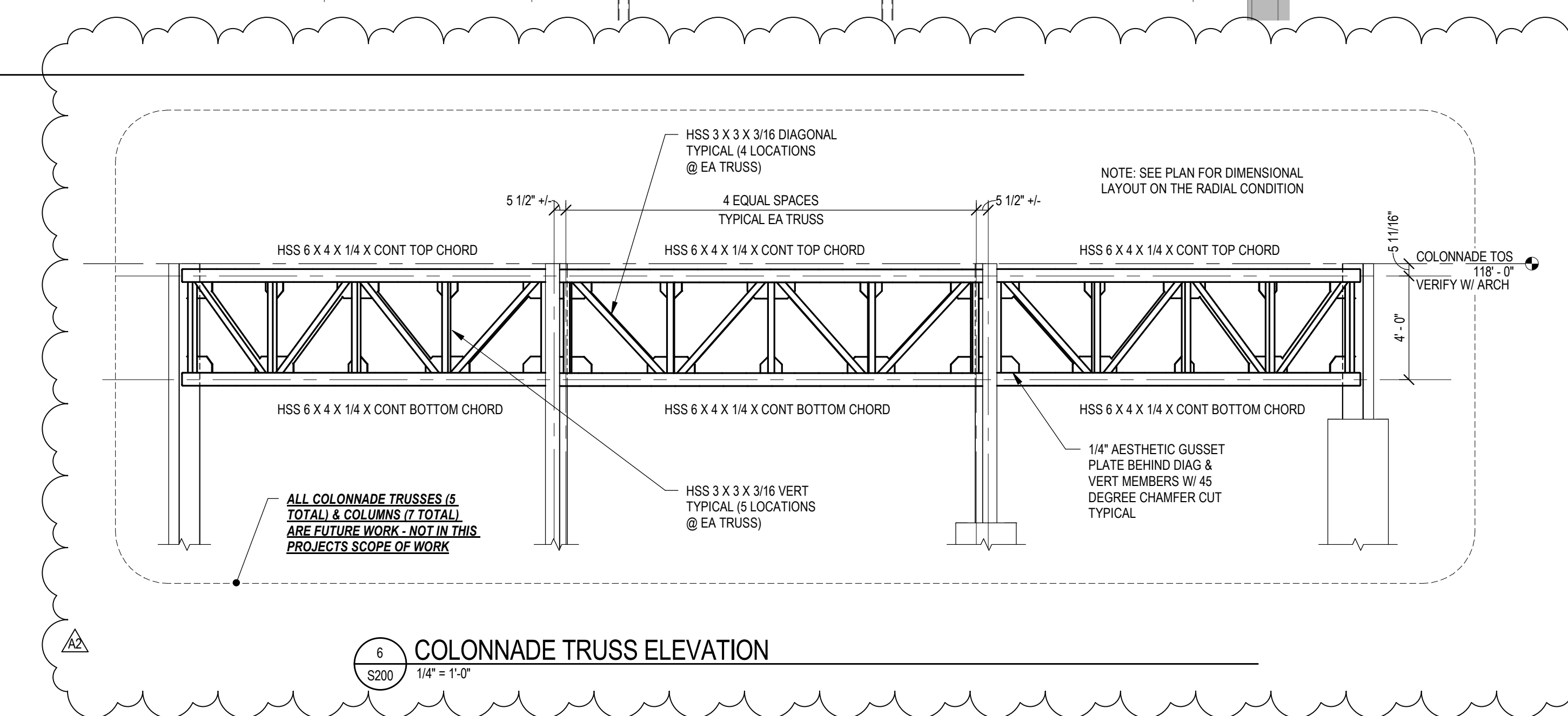
3 CONN REFERENCE VIEW 1
S200



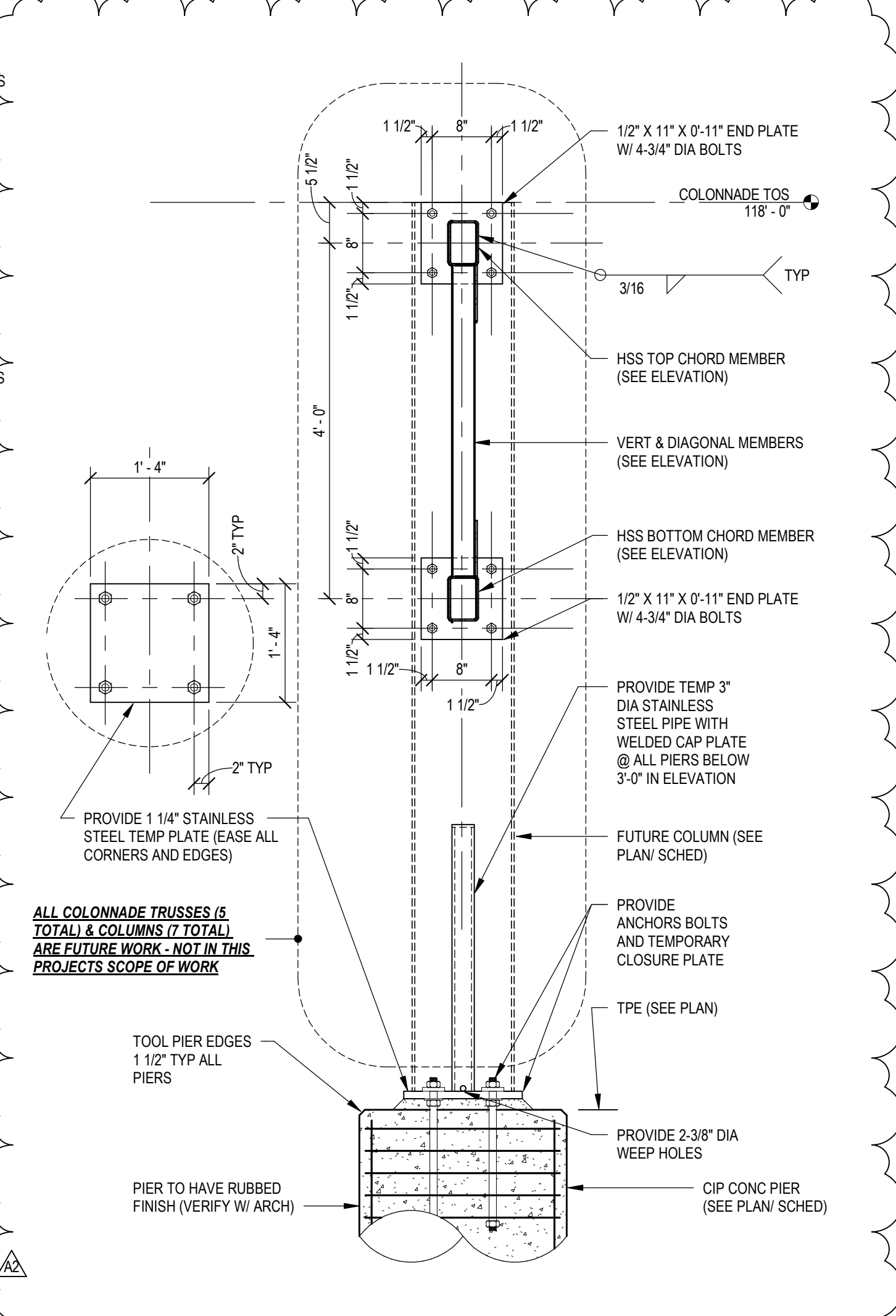
4 CONN DETAIL
S200 1 1/2" = 1'-0"



5 CONN DETAIL
S200 1 1/2" = 1'-0"

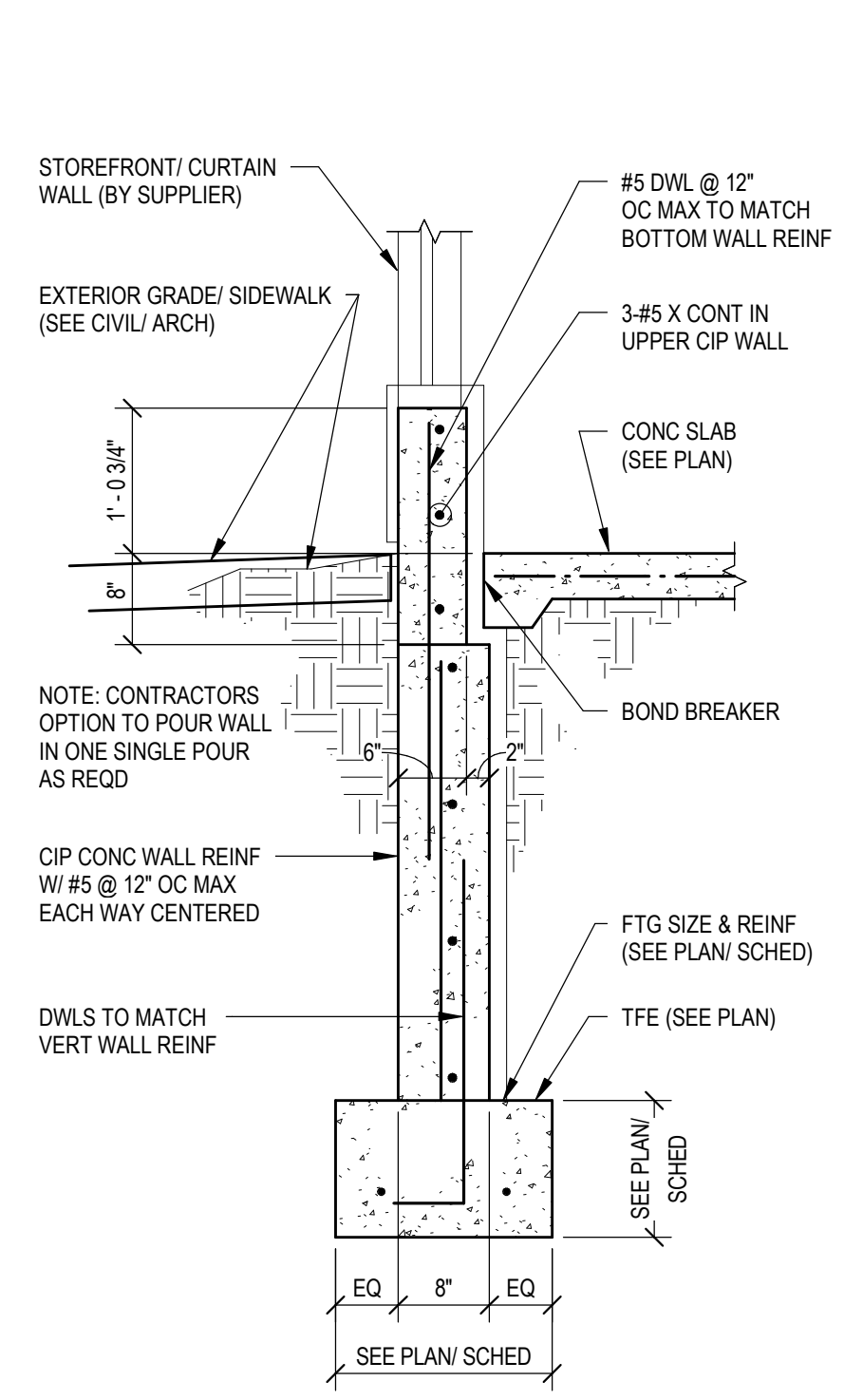


6 COLONNADE TRUSS ELEVATION
S200 1/4" = 1'-0"

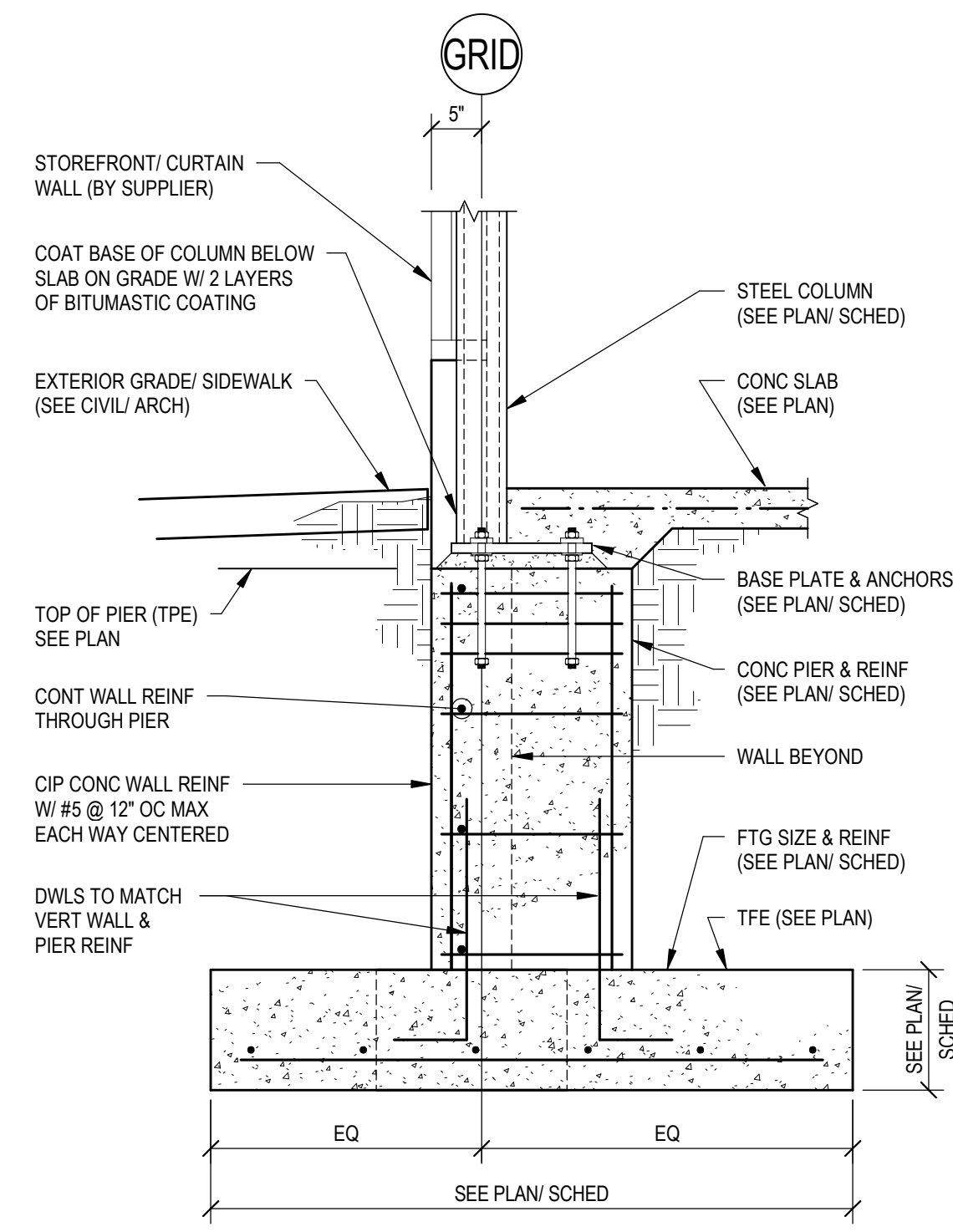


7 SECTION/DETAIL
S200 3/4" = 1'-0"

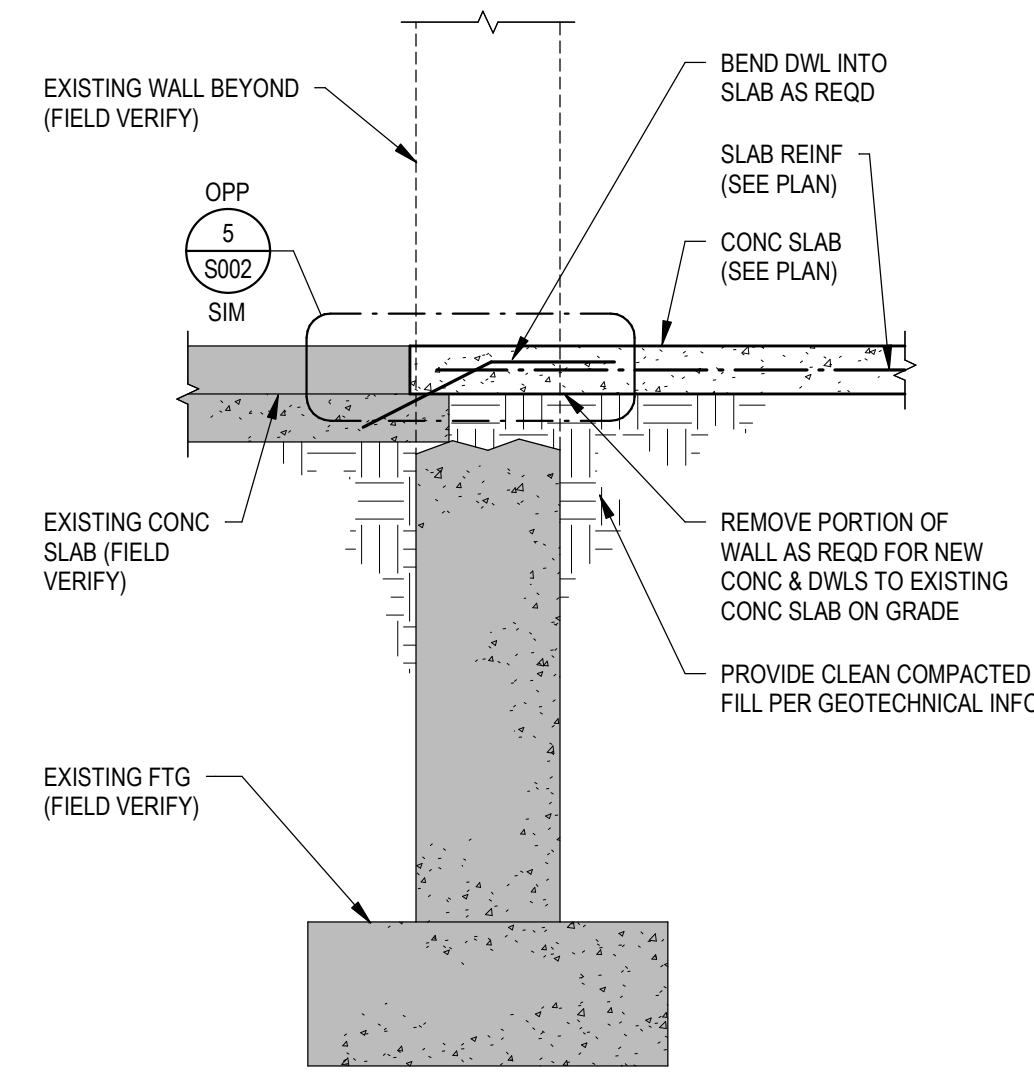
TRUSS NOTES:
1. STRUCTURAL STEEL (F70-50KSI) SHALL BE HIGH-STRENGTH, LOW-ALLOY, ATMOSPHERIC CORROSION RESISTANT ASTM A572 COLD-FORMED WELDED SQUARE AND RECTANGULAR HOLLOW STRUCTURAL SECTION AND OR ASTM A588 PLATE AND STRUCTURAL STEEL SHAPES FOR THE TRUSSES. THE STAINLESS STEEL CONNECTION BRACKET MATERIAL SHALL BE 316 TYPE MATERIAL.
2. ALL BRACE DIAGONAL AND VERTICAL HSS MEMBERS SHALL BE WELDED ALL AROUND TO THE CHORDS (NO OPENINGS).
3. ALL 1/4" GUSSET PLATES SHALL BE PLACED BEHIND THE VERTS AND DIAGONAL MEMBERS WITH WELDS TO ALL THE MEMBERS.
4. UNLESS OTHERWISE NOTED, WELDED CONNECTIONS SHALL BE FILLET WELDS (OR HAVE THE EFFECTIVE THROAT OF A FILLET WELD OF A SIZE EQUAL TO THE THICKNESS OF THE LIGHTEST GAGE MEMBER IN THE CONNECTION WITH 3/16" MINIMUM THICKNESS (E60 ELECTRODES).
5. FINISHING OF THE STEEL SHOULD BE SSPC-SP7 BRUSH OFF BLAST CLEANING.



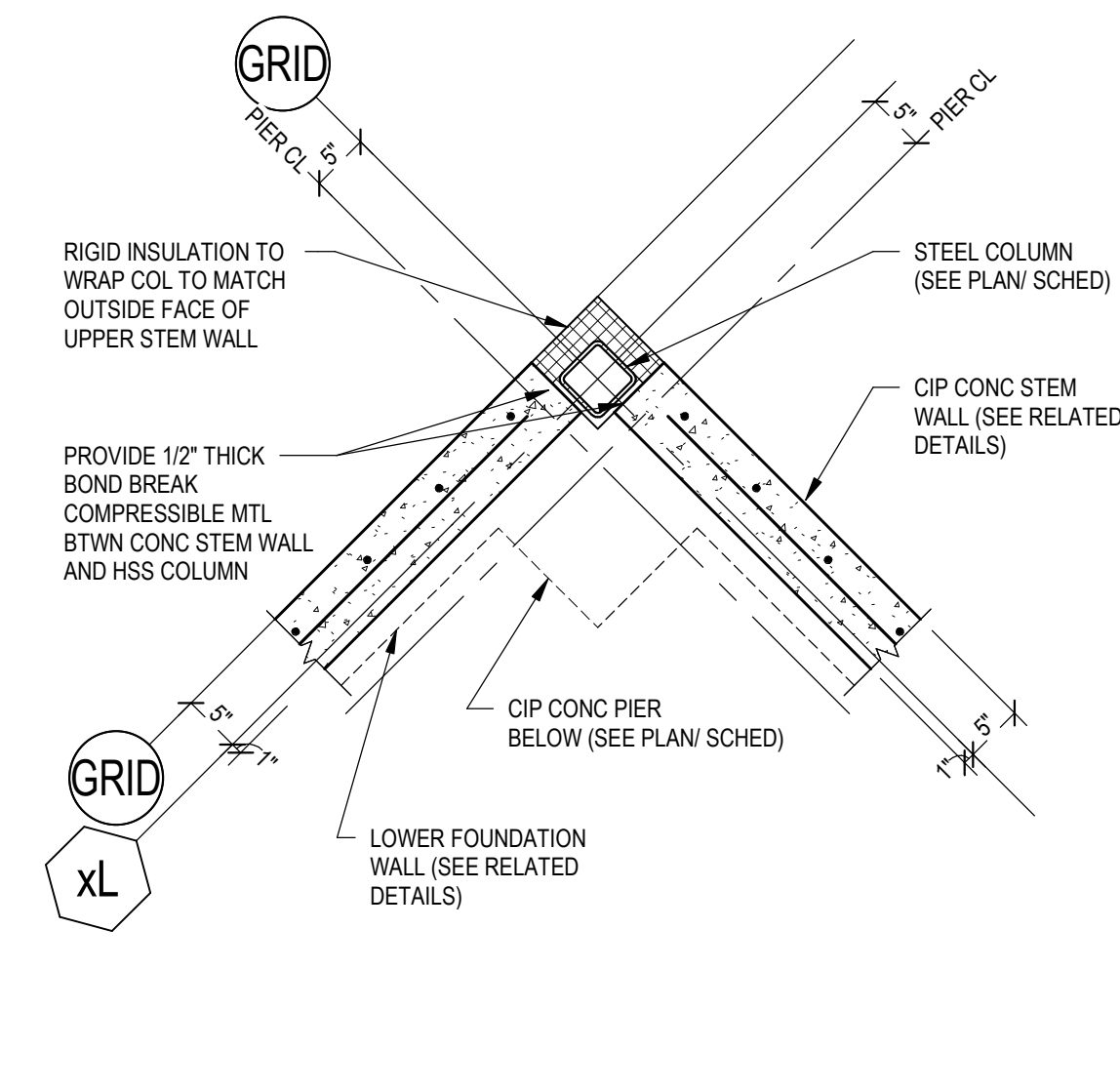
1 SECTION/DETAIL
S201 3/4" = 1'-0"



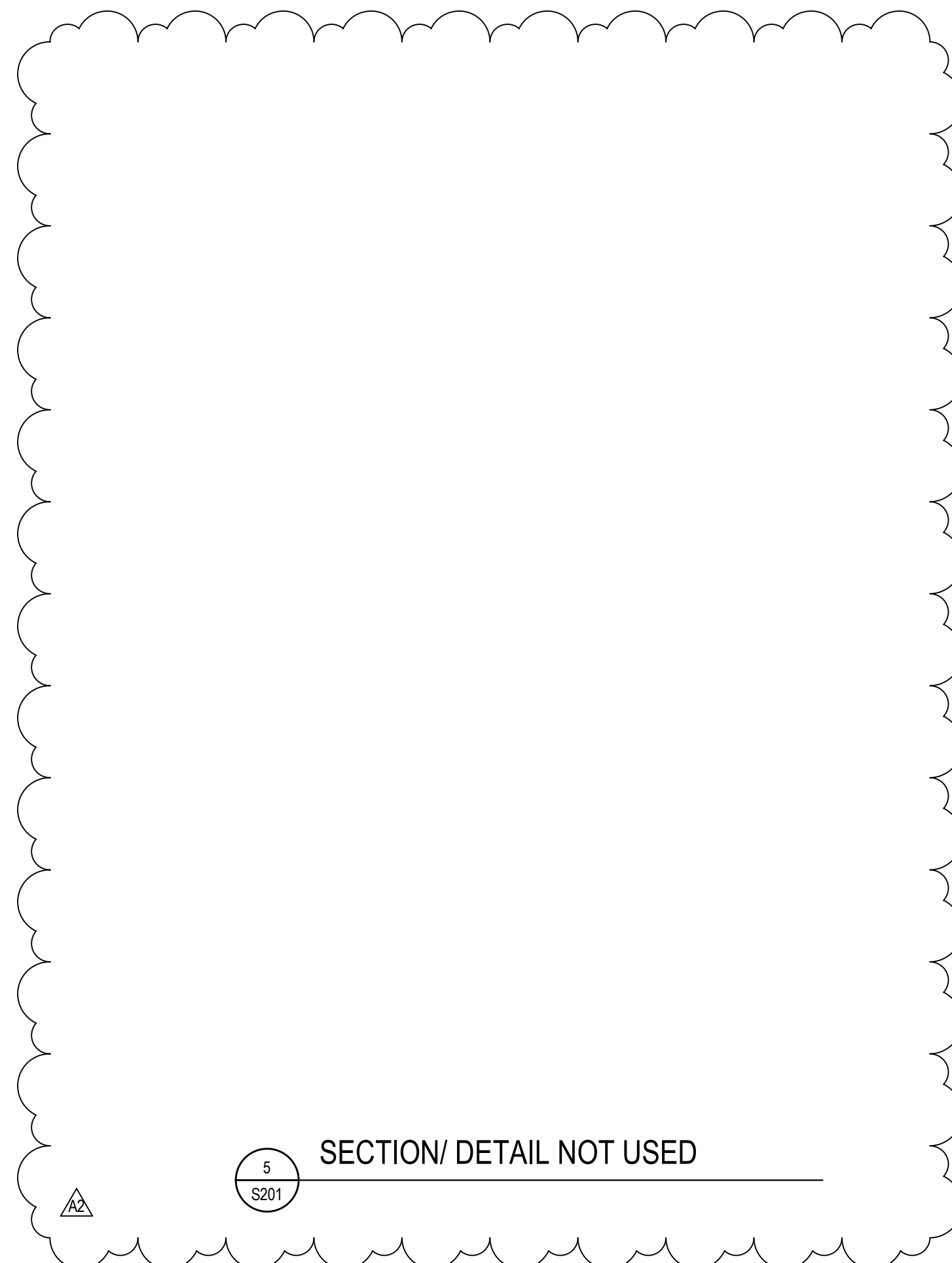
2 SECTION/DETAIL
S201 3/4" = 1'-0"



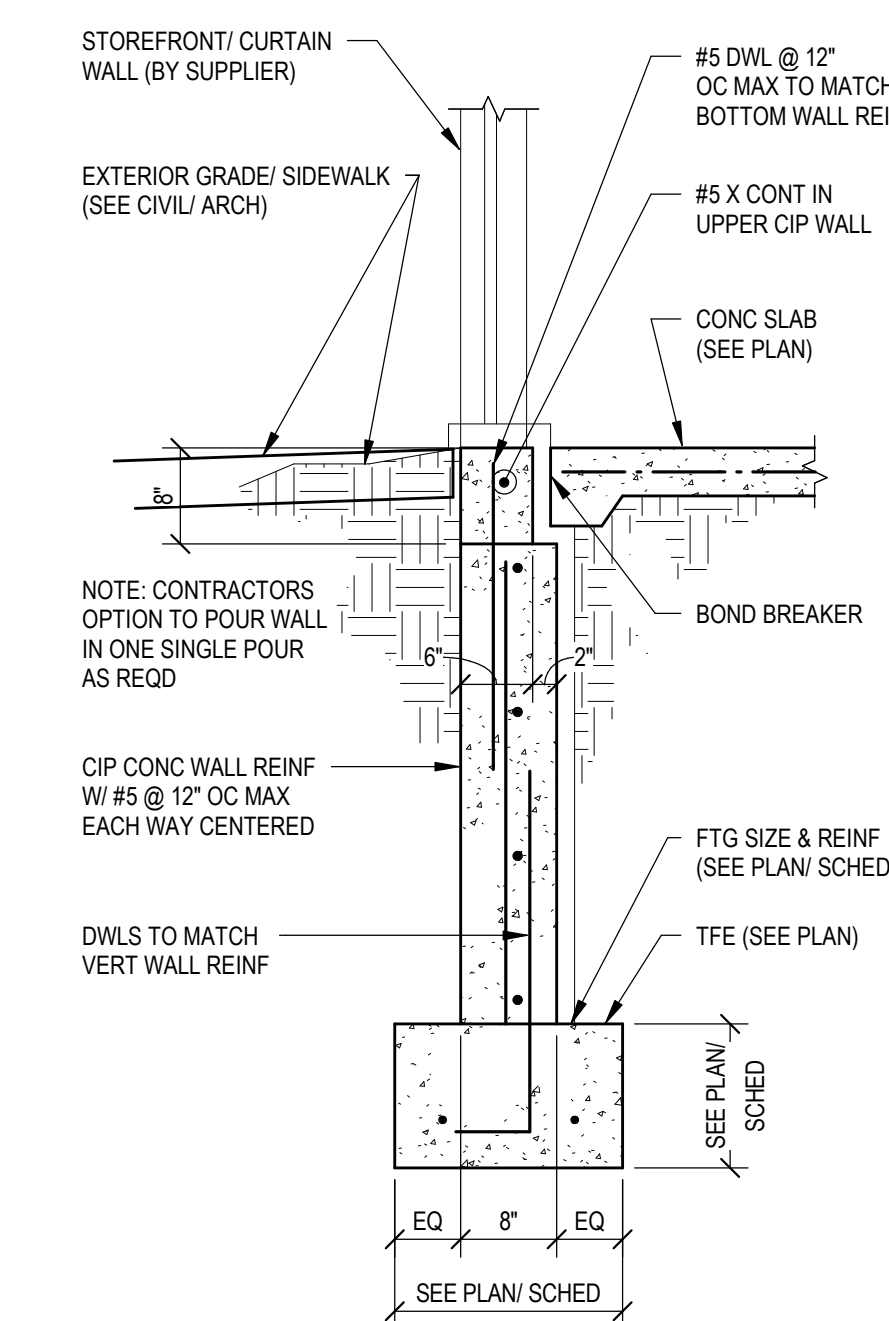
3 SECTION/DETAIL
S201 3/4" = 1'-0"



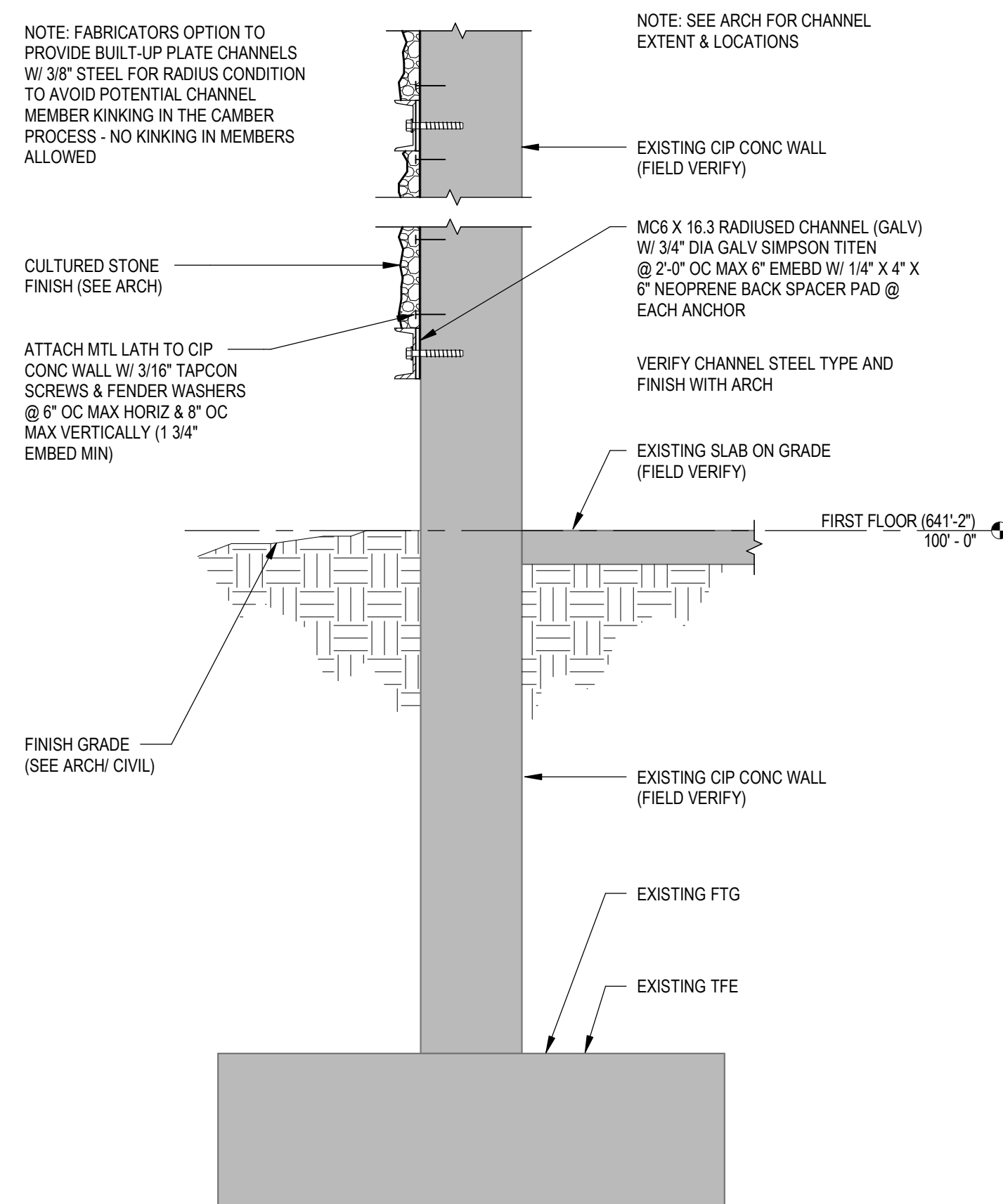
4 PLAN VIEW @ VEST COLUMN
S201 3/4" = 1'-0"



5 SECTION/DETAIL NOT USED
S201



6 SECTION/DETAIL
S201 3/4" = 1'-0"



7 SECTION/DETAIL
S201 3/4" = 1'-0"

No.	Description	Date
A2	ADDENDUM 2	4-3-18

Graphic Scale:
VARIES

Last Update:
4/3/2018 3:47:51 PM

S201R



Consultant:

Project Title: **WITC - SUPERIOR CAMPUS
SUPERIOR INTERIOR AND EXTERIOR MAINTENANCE &
REMODEL**
Project Location: **MECHANICAL NEW & DEMOLITION PLANS - 1ST FLOOR**

Project Number: **17063-1**

Project Date: **MARCH 2018**

Drawn By: **CMB**

Key Plan:

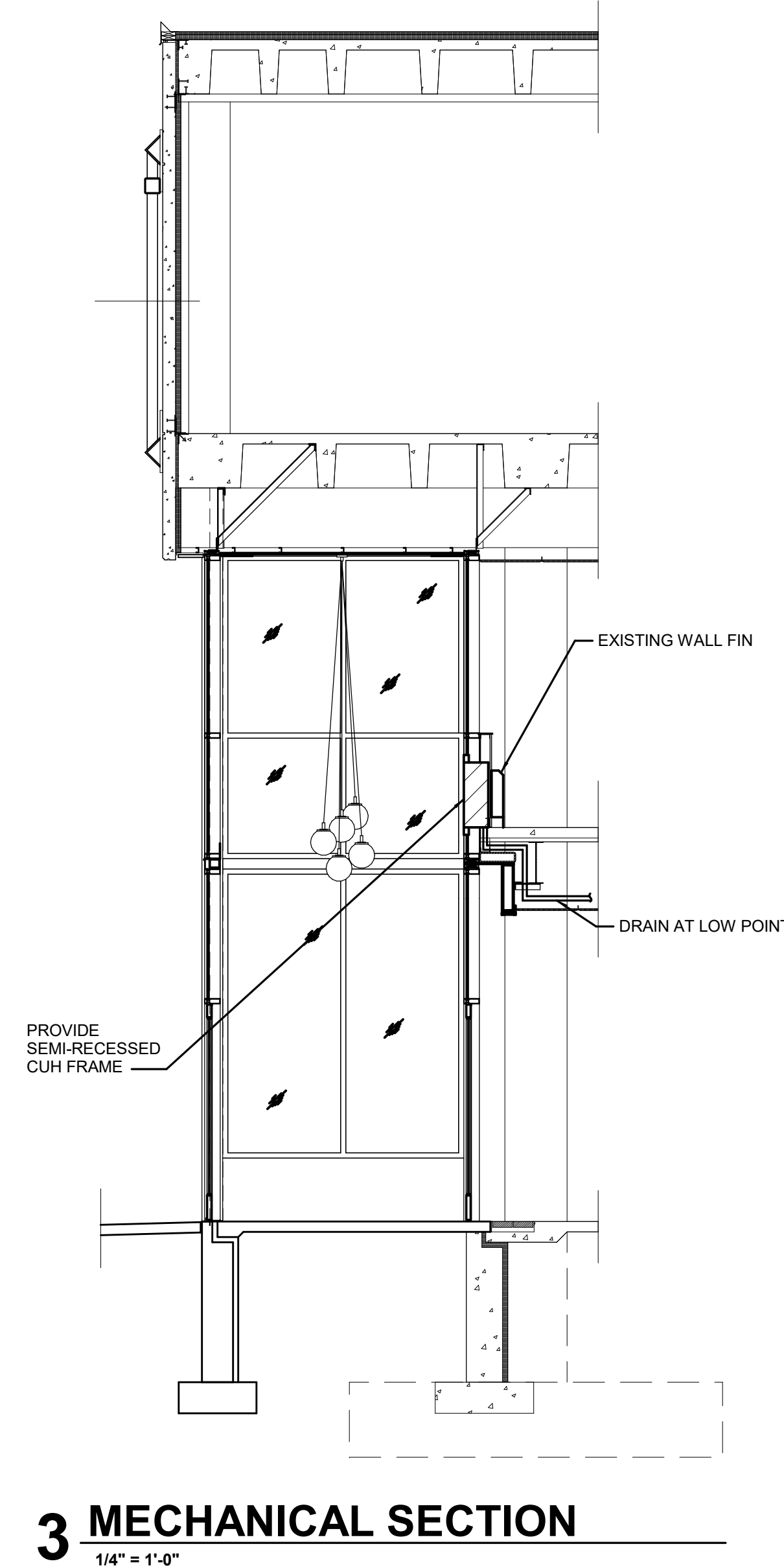
**CONSTRUCTION
DOCUMENTS**

No.	Description	Date
ADDENDUM #1		3/27/2018
ADDENDUM #2		4/03/2018

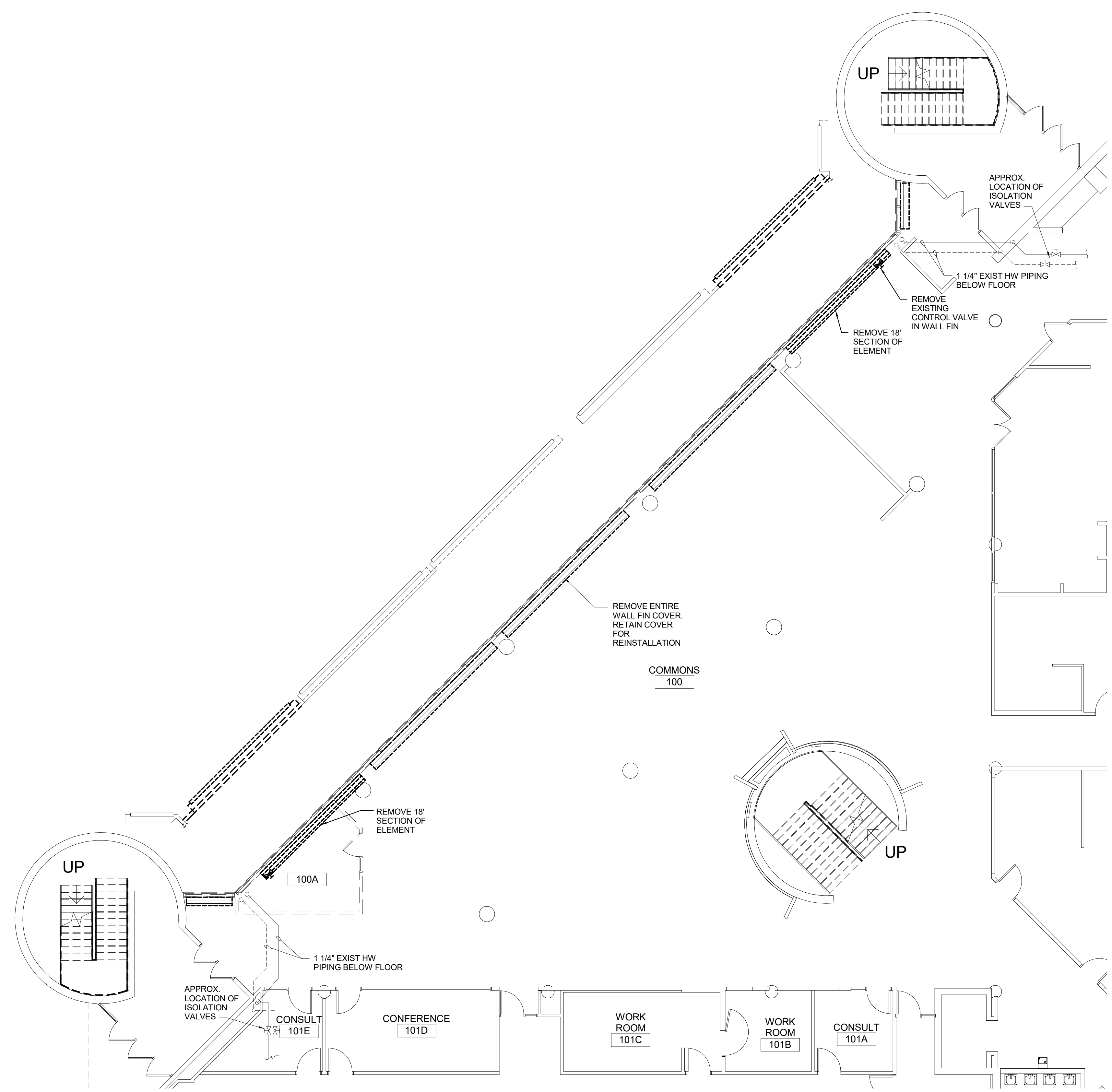
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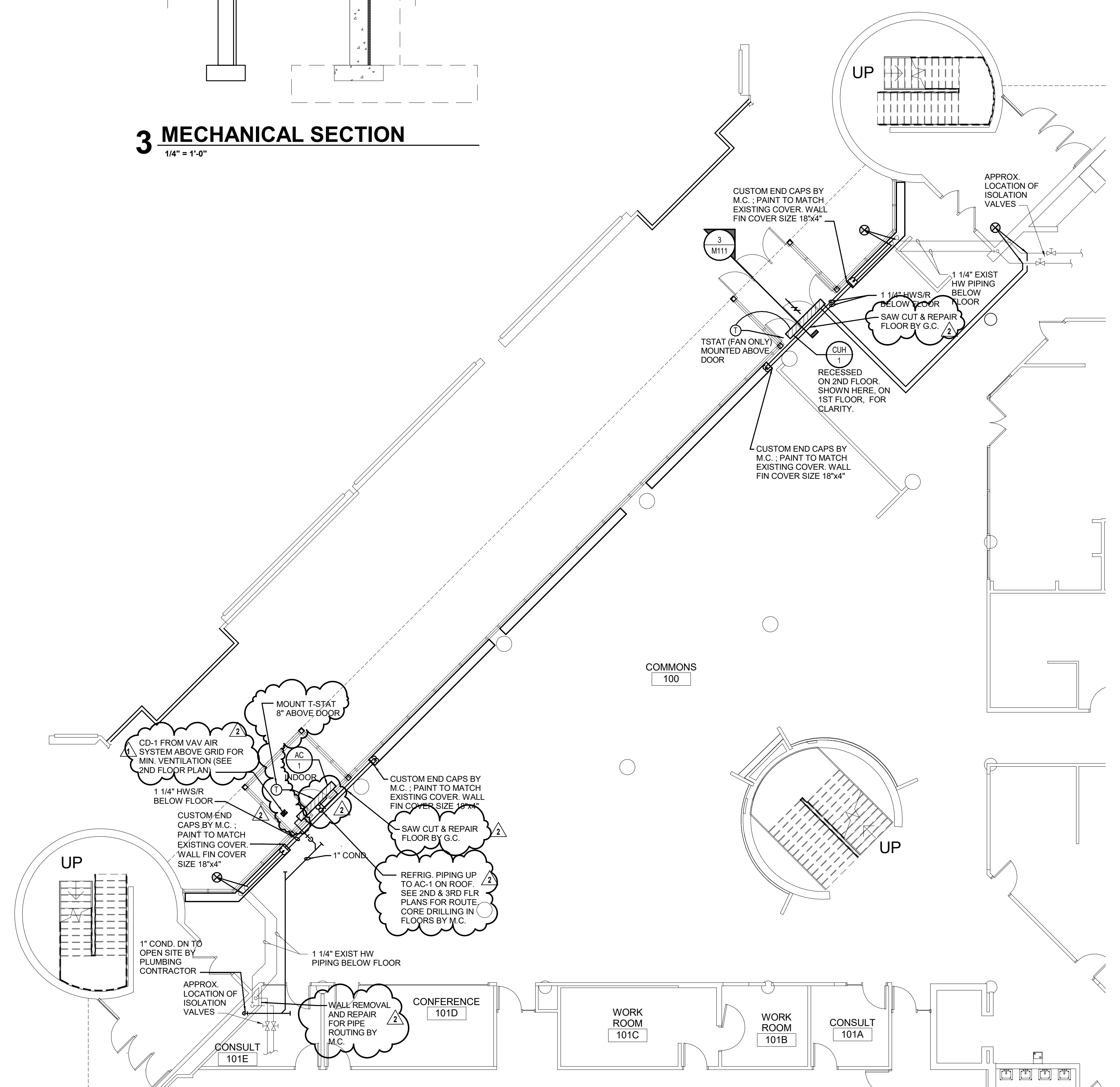
M111R



3 MECHANICAL SECTION
1/4" = 1'-0"



2 MECHANICAL DEMOLITION PLAN - FIRST FLOOR
1/8" = 1'-0"



1 MECHANICAL PLAN - FIRST FLOOR
1/8" = 1'-0"





Consultant:

Project Title: **WITC - SUPERIOR CAMPUS
SUPERIOR INTERIOR AND EXTERIOR MAINTENANCE &
REMODEL**

Project Location: **MECHANICAL PLANS - 2ND & 3RD FLOOR**

HSR Project Number: **17063-1**

Project Date: **MARCH 2018**

Drawn By: **CMB**

Key Plan:

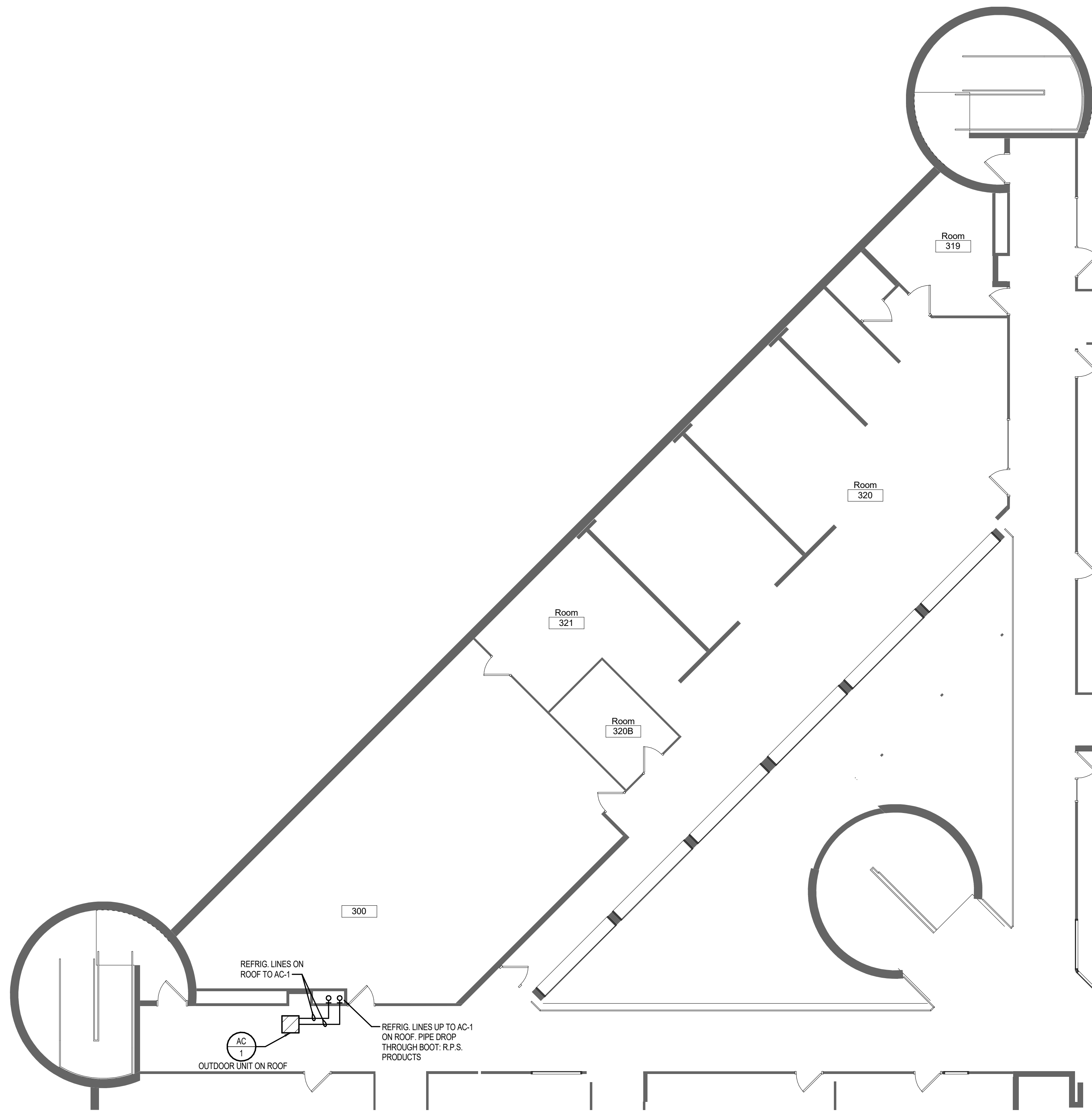
**CONSTRUCTION
DOCUMENTS**

No.	Description	Date
ADDENDUM #1		3/27/2018
ADDENDUM #2		4/03/2018

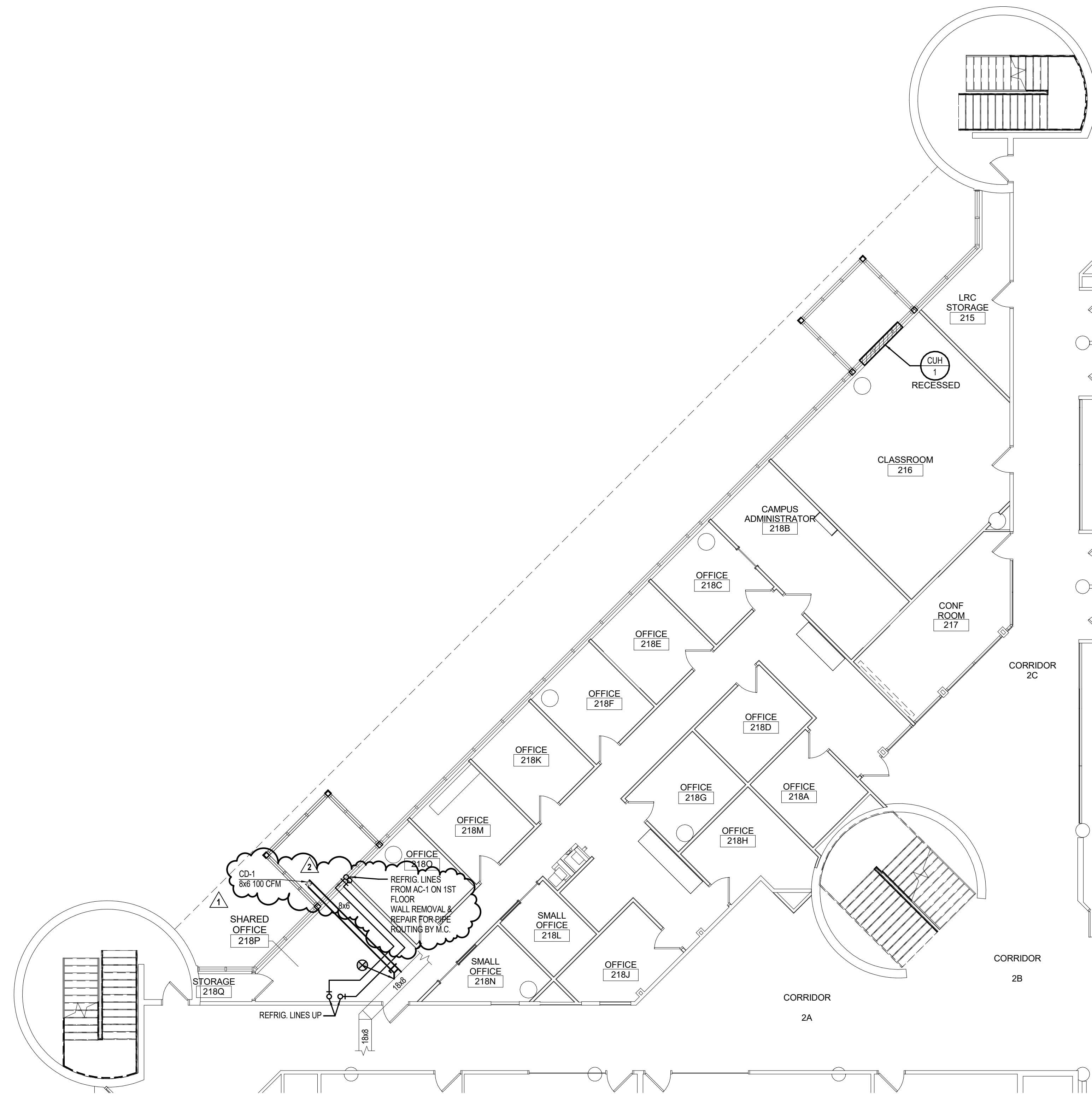
Graphic Scale: **VARIES**

Last Update: **4/3/2018 10:24:00 AM**

M121R



2 MECHANICAL PLAN - THIRD FLOOR
1/8" = 1'-0"



1 MECHANICAL PLAN - SECOND FLOOR
1/8" = 1'-0"





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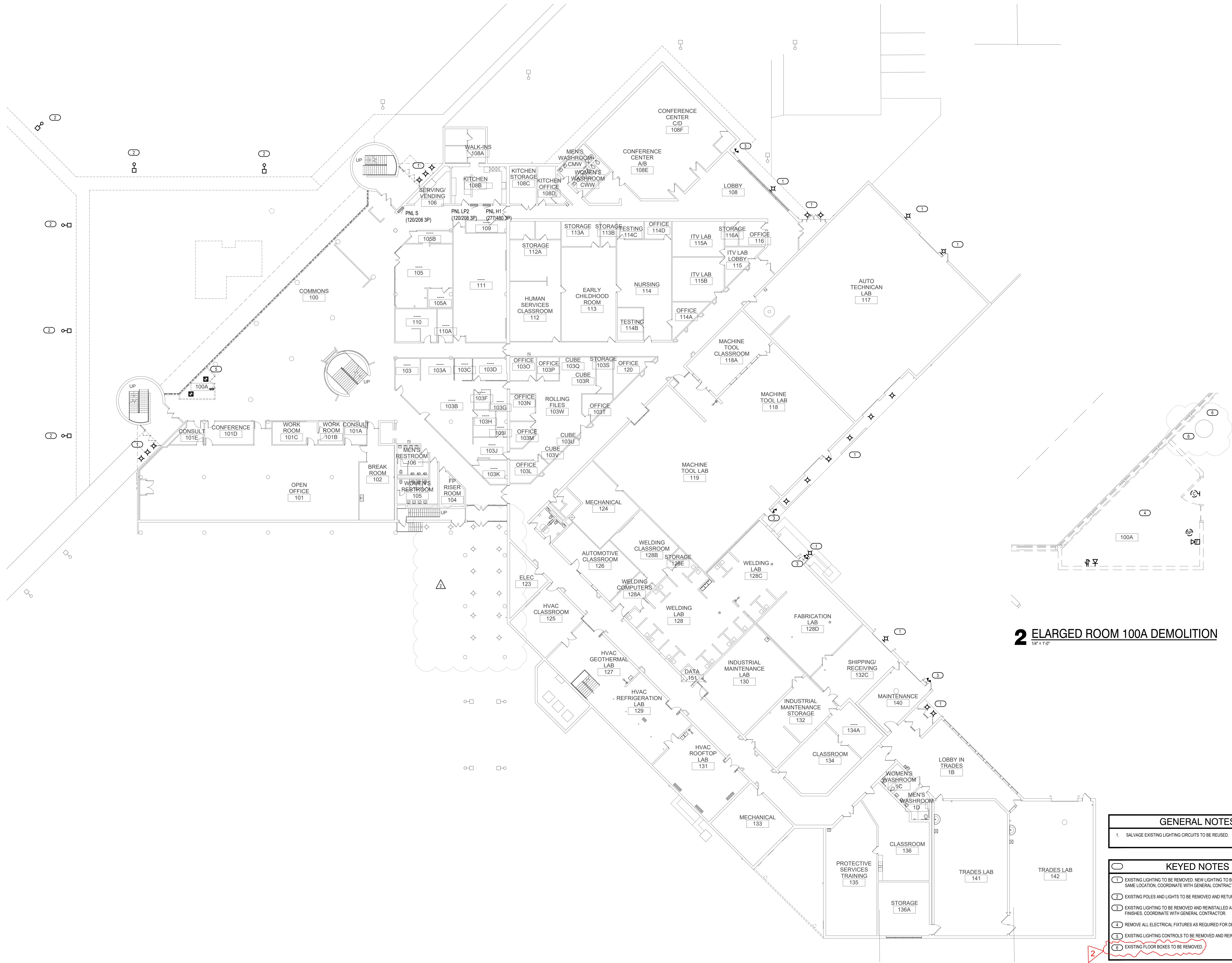
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WITC - SUPERIOR CAMPUS
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ELECTRICAL - DEMOLITION PLAN

Project Title:
HSR Project Number: 17063-1
Project Date: MARCH 2018
Drawn By: JCN
Key Plan:

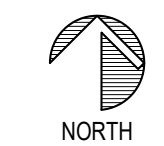


2 ENLARGED ROOM 100A DEMOLITION
1/4" = 1'-0"



- | GENERAL NOTES | | |
|---------------|--|--|
| 1. | SALVAGE EXISTING LIGHTING CIRCUITS TO BE REUSED. | |
-
- | KEYED NOTES | | |
|-------------|---|--|
| 1 | EXISTING LIGHTING TO BE REMOVED. NEW LIGHTING TO BE INSTALLED IN THE SAME LOCATION. COORDINATE WITH GENERAL CONTRACTOR. | |
| 2 | EXISTING POLES AND LIGHTS TO BE REMOVED AND RETURNED TO OWNER. | |
| 3 | EXISTING LIGHTING TO BE REMOVED AND REINSTALLED AS REQUIRED FOR NEW FINISHES. COORDINATE WITH GENERAL CONTRACTOR. | |
| 4 | REMOVE ALL ELECTRICAL FIXTURES AS REQUIRED FOR DEMOLITION. | |
| 5 | EXISTING LIGHTING CONTROLS TO BE REMOVED AND REINSTALLED. | |
| 6 | EXISTING FLOOR BOXES TO BE REMOVED. | |

1 DEMOLITION LIGHTING PLAN
1/16" = 1'-0"



CONSTRUCTION DOCUMENTS

Revisions:	No.	Description	Date
	1		
	2	ADDENDUM #2	04/03/18

Graphic Scale: VARIES

Last Update:

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ELECTRICAL - LIGHTING PLAN

Project Title:
Project Number:
Project Date:
Drawn By:
Key Plan:

HSR Project Number: 17063-1
Project Date: MARCH 2018
Drawn By: JCN

Key Plan:

CONSTRUCTION DOCUMENTS

No.	Description	Date
2	ADDENDUM #2	04/03/18

Graphic Scale: VARIES
Last Update:

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2 ENLARGED OFFICE 100B
1/4" = 1'-0"



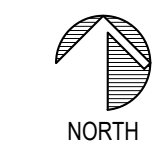
GENERAL NOTES

1. PROVIDE NIGHT DIMMING POWER PACKS FOR ALL LIGHTING. EACH SWITCH LEG SHALL HAVE ITS OWN TO BE CONTROLLED BY THE EXISTING NIGHT LIGHTING CONTROL SYSTEM.
2. PROVIDE NEW LIGHTING CIRCUIT FOR LIGHTING FIXTURES IN THE FRONT OF THE BUILDING.
3. CONNECT NEW LIGHTING TO EXISTING SALVAGED AREA CIRCUITS UNLESS OTHERWISE NOTED

KEYED NOTES

1. PROVIDE LIGHTING TO MATCH EXISTING APERTURE SIZE.
2. LIGHT FIXTURES TO BE MOUNTED IN SECOND LEVEL CEILING GRID AT 21" AFF. MC CABLE TIED TO CEILING GRID.
3. LIGHT FIXTURE TO BE MOUNTED IN FIRST LEVEL CEILING GRID AT 11" AFF. MC CABLE SHALL BE TIED TO GRID TO BE HIDDEN IN THE BEST MANNER POSSIBLE.
4. PROVIDE A RECEPTACLE AND JUNCTION BOX WITH CONDUIT STUBBED INTO ACCESSIBLE CEILING ON SECOND FLOOR FOR STAGE LIGHTING MOUNTED IN OVERHANG.
5. EXISTING LIGHT POLES TO BE REMOVED AND RETURNED TO OWNER.
6. PROVIDE BRACING ACROSS GRID TO MOUNT OCCUPANCY SENSOR.

1 LIGHTING PLAN
1/16" = 1'-0"





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ELECTRICAL - POWER AND SYSTEMS PLAN

Project Title:
Project Number:
Project Date:
Drawn By:
Key Plan:

HSR Project Number: 17063-1
Project Date: MARCH 2018
Drawn By: JCN
Key Plan:

CONSTRUCTION DOCUMENTS

No.	Description	Date
2	ADDENDUM #2	04/03/18

Graphic Scale: VARIES

Last Update:

E121R



2 ENLARGED OFFICE 100B
1/4" = 1'-0"



- KEYED NOTES**
- REMOVE AND REINSTALL EXISTING DEVICES AS REQUIRED FOR NEW FINISHES. COORDINATE WITH GENERAL CONTRACTOR.
 - EC SHALL PROVIDE CONDUIT AND GROUND STUBBED OUT OF THE BASE AS SHOWN IN DETAIL 5E01. COORDINATE BASE HEIGHT AND DEPTH WITH GENERAL CONTRACTOR. POLE BASES SHALL HAVE CONDUIT STUBBED INTO THE BUILDING.
 - CONDUITS UP THE EXTERIOR TO BE HIDDEN IN THE CULTURED STONE. COORDINATE WITH GENERAL CONTRACTOR.
 - PROVIDE 1 1/2" CONDUIT FROM THE POLE BASES INTO AN ACCESSIBLE LOCATION IN THE BUILDING.
 - CONDUIT ROUTING FOR THE EXTERIOR LIGHTING.
 - COORDINATE LOCATION OF MANUAL PULL STATION WITH OWNER/ARCHITECT.
 - EXISTING POWERED BLINDS TO BE REMOVED AND REINSTALLED.

